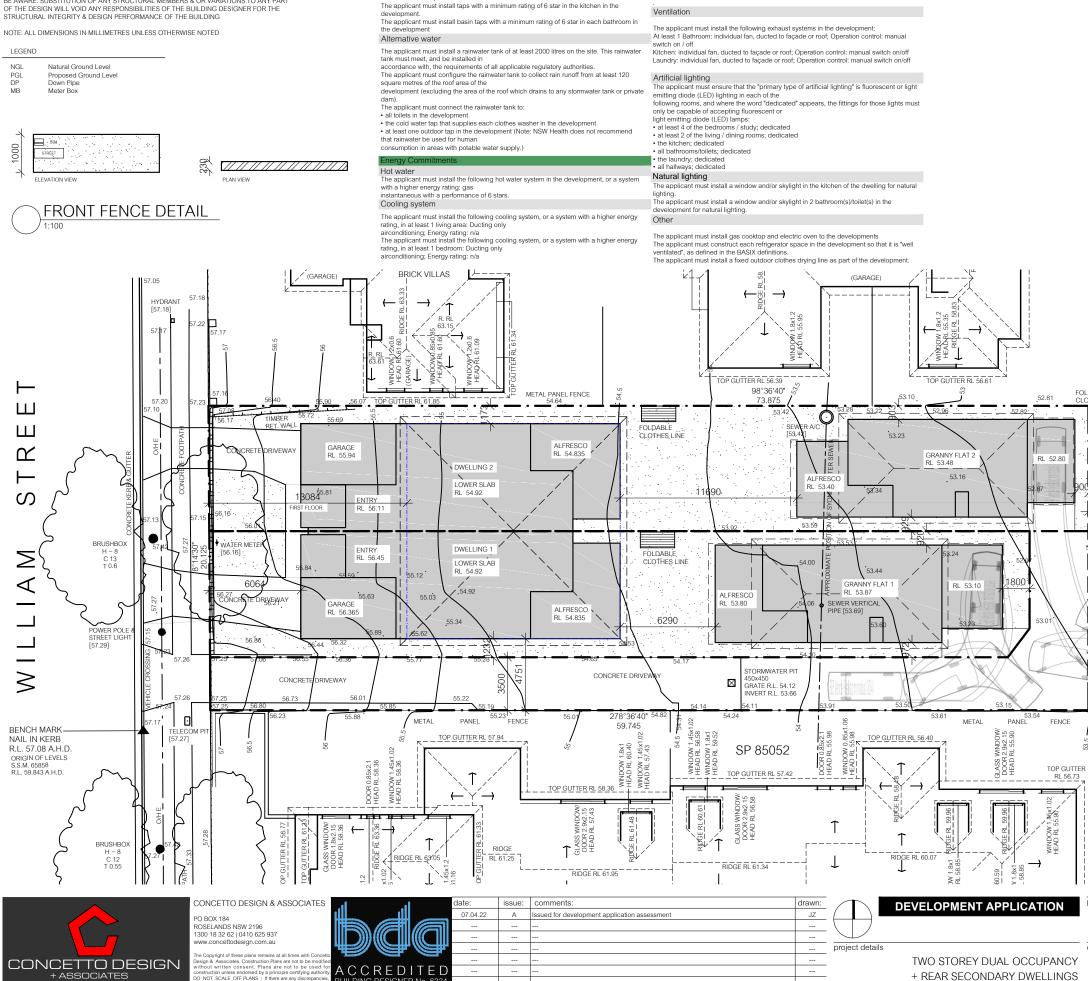
BE AWARE: SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & DESIGN PERFORMANCE OF THE BUILDING

+ ASSOCIATES



Fixtures The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5

The applicant must install a toilet flushing system with a minimum rating of 6 star in each

L/min plus spray force and/or coverage tests) in

all showers in the development

toilet in the development

Heating system

airconditioning; Energy rating: n/a

rating, in at least 1 bedroom: Ducting only

nditioning; Energy rating: n/a

The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: Ducting only

The applicant must install the following heating system, or a system with a higher energy

+ REAR SECONDARY DWELLINGS

AREA CALCULAT Dwelling 1

te Area Gross Floor Area ound Floor

rst Floor *Garage: *Void: (*exclude from GF/

econdary Dwelling:

Floor Space Ratio: Landscape Pervious Area: npervious Area

Total Impervious:

FOLDABL

52.74

GARAG RI 52.8

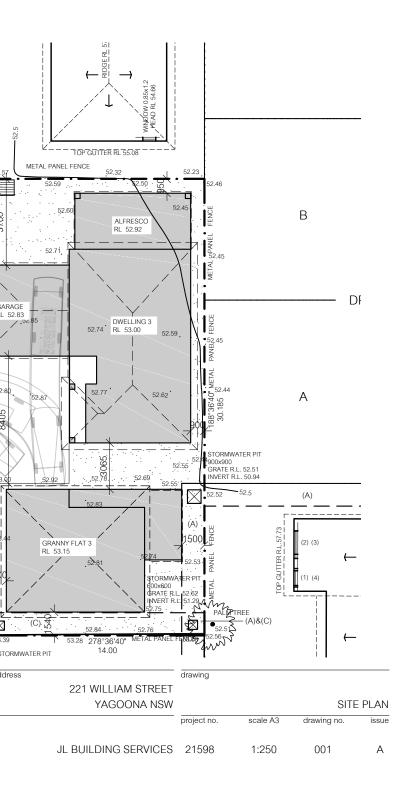
project address

client

www.dialbeforeyoudig.com.au

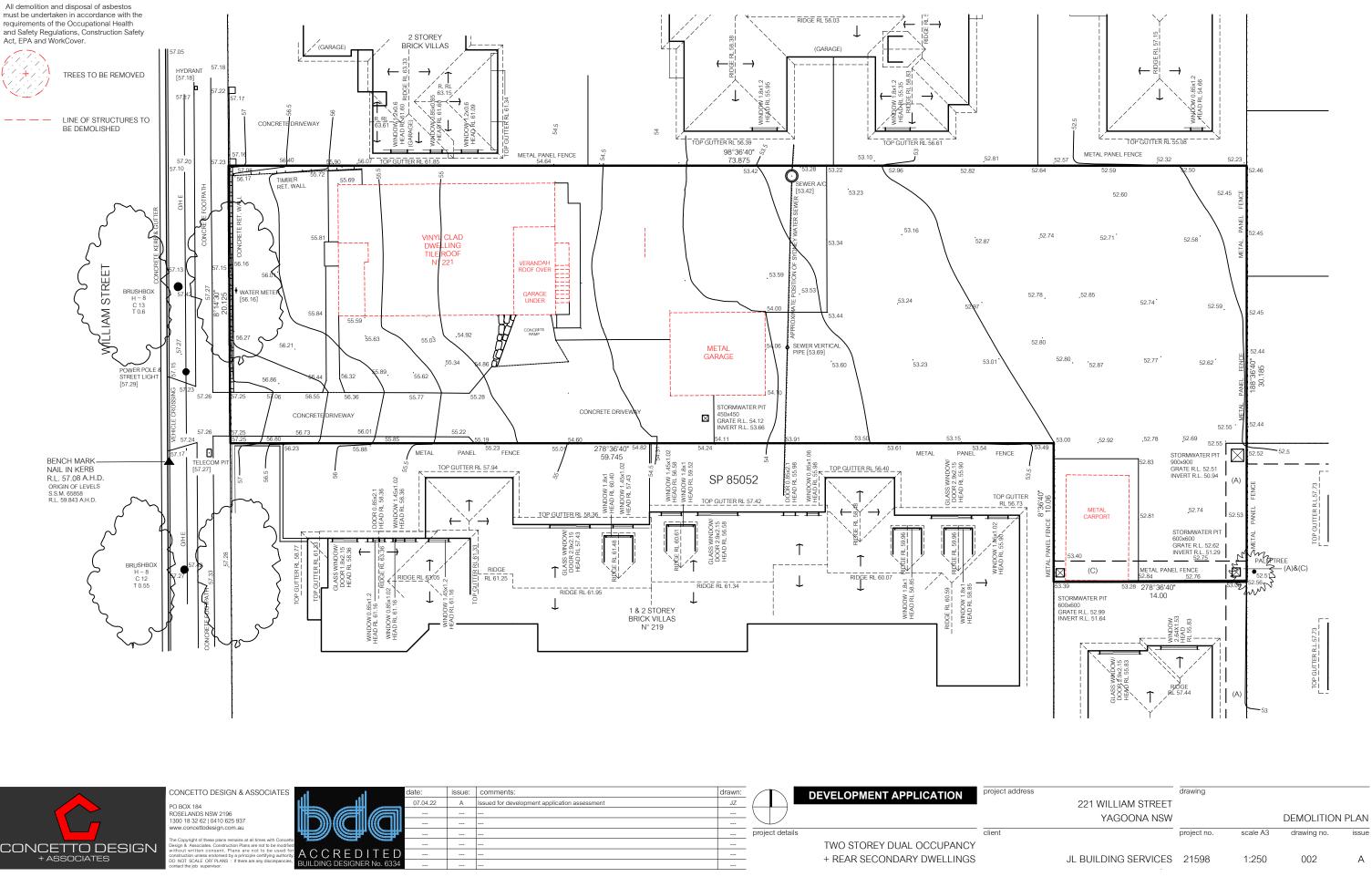


BUILD AWAY FROM SEWER						
TIONS						
		Dwelling 2		Dwelling 3		
	451.00m ²	Site Area:	481.88m ²	Site Area:	502.30m ²	
I		Gross Floor Area		Gross Floor Area		
(A):	77.36m ² 85.75m ² 22.10m ² 6.1m ² 60.00m ²	Ground Floor: First Floor: *Garage: *Void: (*exclude from GFA): Secondary Dwelling:	77.36m ² 85.75m ² 22.10m ² 6.1m ²	Ground Floor: First Floor: "Carage: "Void: (*exclude from GFA): Secondary Dwelling:	84.38m ² 80.15m ² 30.80m ² 5.3m ² 60.00m ²	
	223.11m ²	Total:	223.11m ²	Total:	224.53m ²	
	49.47%	Floor Space Ratio:	46.29%	Floor Space Ratio:	44.70%	
	150.50m ² 300.50m ²	Landscape Pervious Area: Impervious Area:	194.50m² 289.38m²	Landscape Pervious Area: Impervious Area:	137.50m² 364.80m²	
	66.6%	Total Impervious:	59.63%	Total Impervious:	72.60%	





All demolition work must be carried out in accordance with Australian Standard 2601–1991 Demolition of Structures.



issue

А



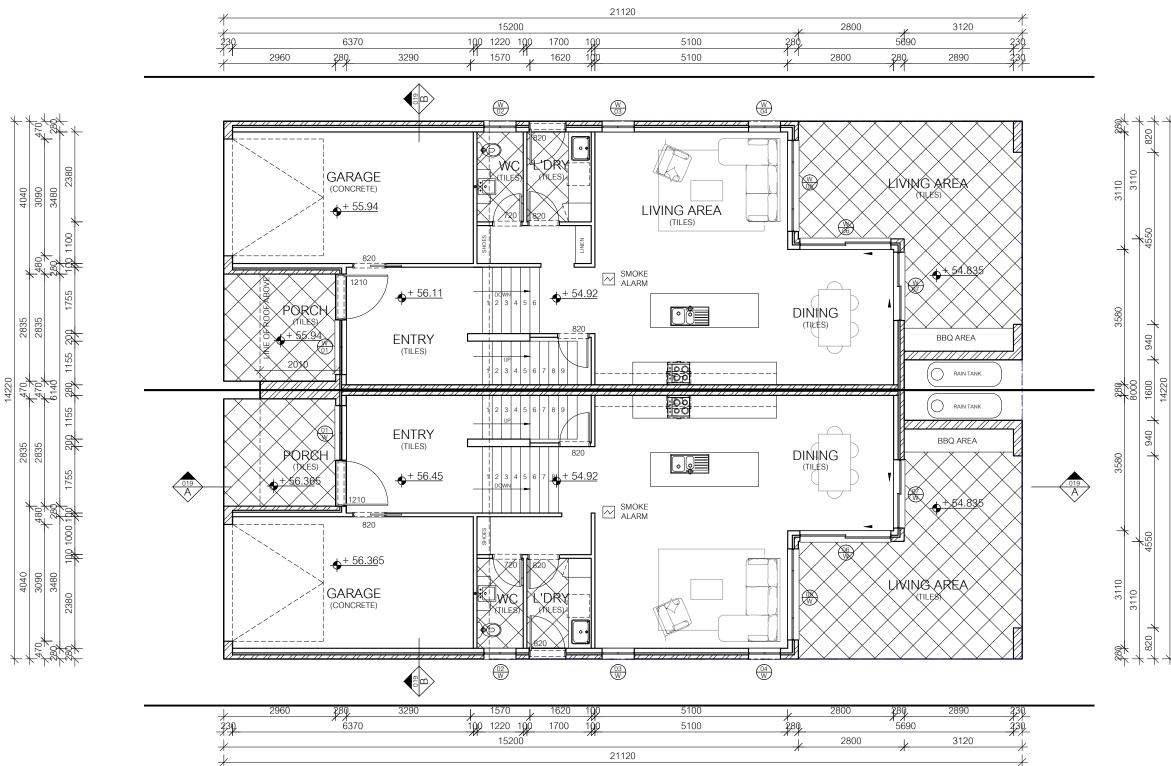
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NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

USED





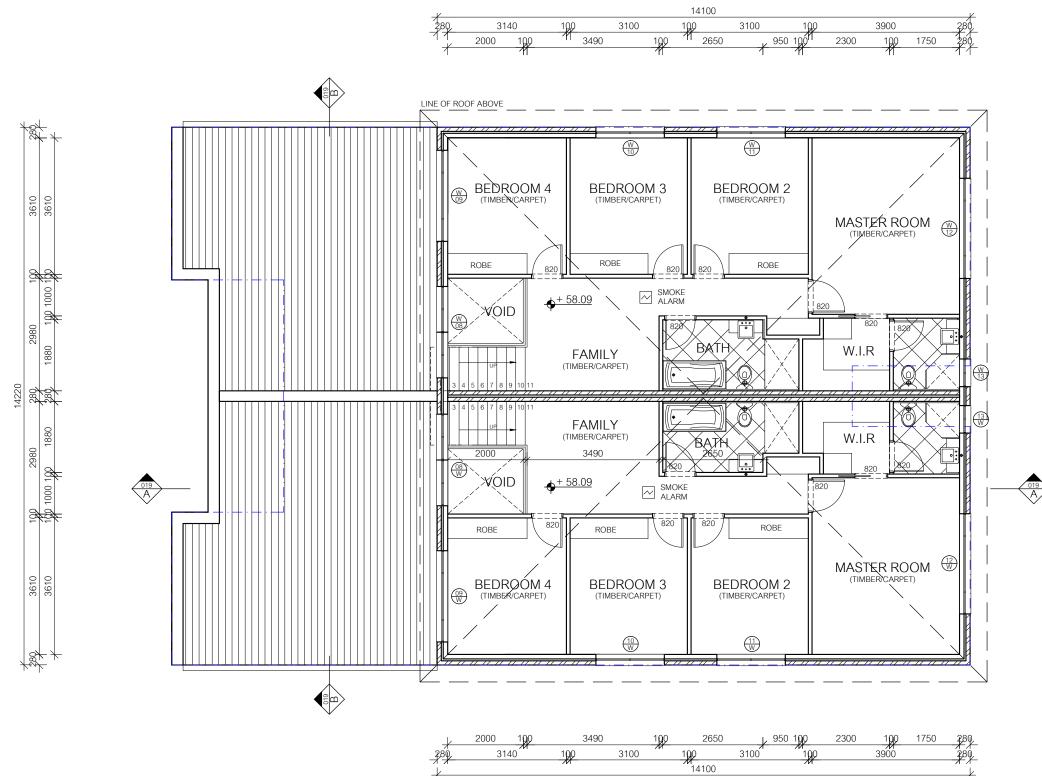
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- <i>X</i> -
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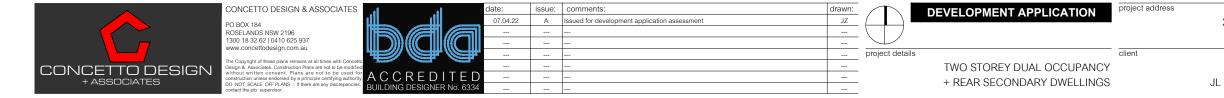
	drawing			
21 WILLIAM STREET			DUAL OCCUP	PANCY
YAGOONA NSW		GR	OUND FLOOF	R PLAN
	project no.	scale A3	drawing no.	issue
UILDING SERVICES	21598	1:100	003	A

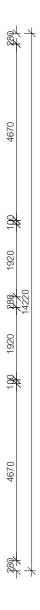
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NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

USED

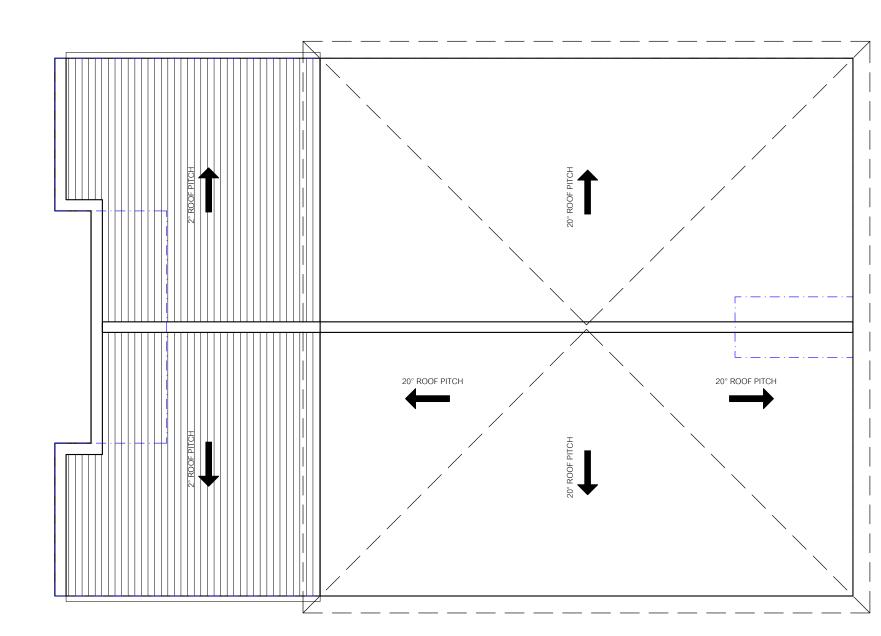


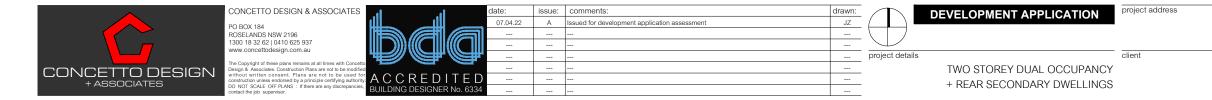




	drawing			
221 WILLIAM STREET YAGOONA NSW			DUAL OCCU FIRST FLOOF	-
	project no.	scale A3	drawing no.	issue
BUILDING SERVICES	21598	1:100	004	А

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	drawing			
221 WILLIAM STREET			DUAL OCCU	PANCY
YAGOONA NSW			ROO	F PLAN
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	005	А

LEGEND

NGL PGL W FB Natural Ground Level Proposed Ground Level Window Code Face Brick Rendered Brick Stacked Stone RB SS





CONCETTO DESIGN + ASSOCIATES



METAL ROOF BASALT

FASCIA & GUTTERING SURFMIST

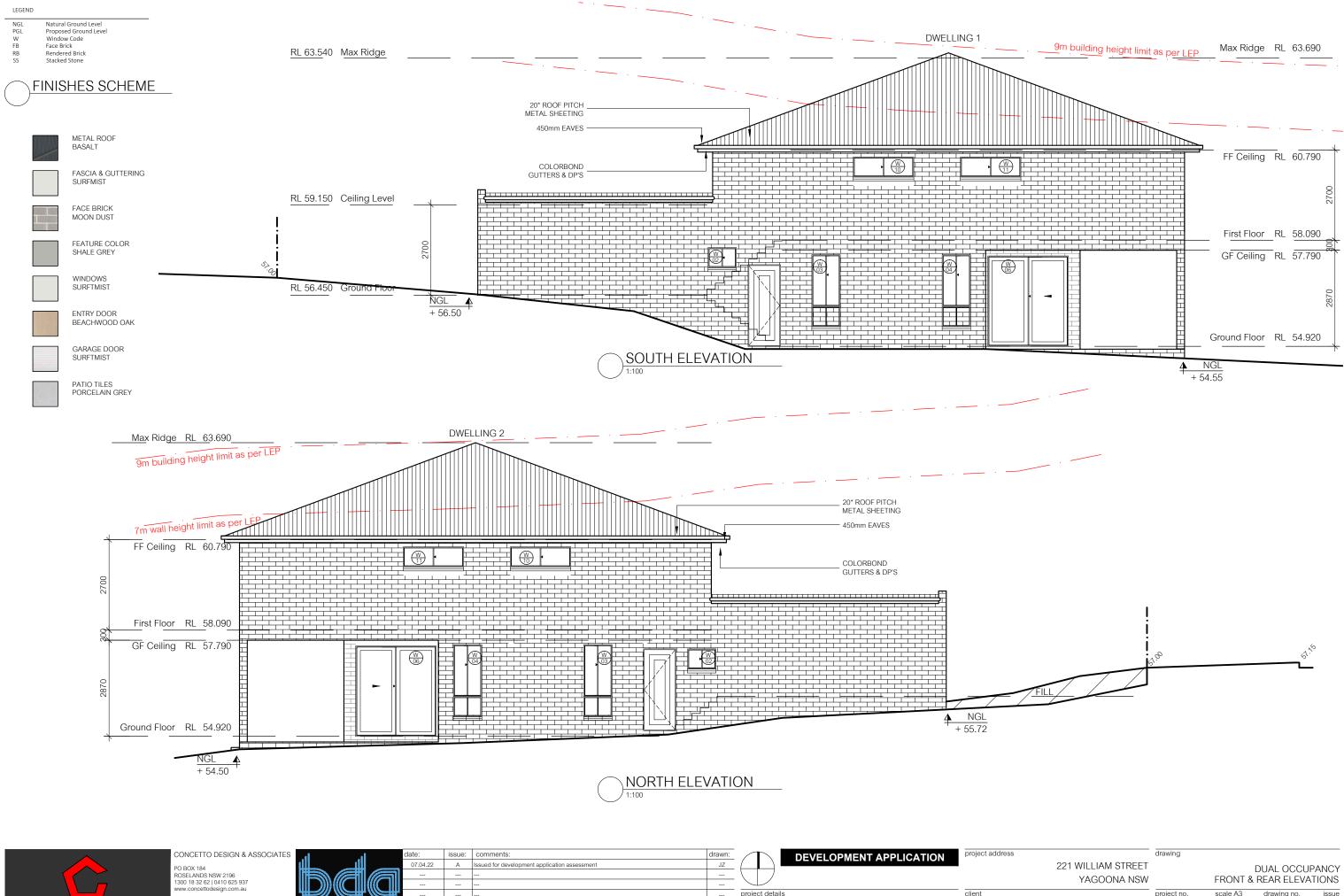
FACE BRICK MOON DUST

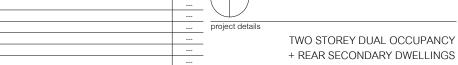
FEATURE COLOR SHALE GREY

WINDOWS SURFTMIST

> GARAGE DOOR SURFTMIST

	drawing			
221 WILLIAM STREET			DUAL OCC	UPANCY
YAGOONA NSW		FRONT	& REAR ELEV	ATIONS
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	006	А





client

CONCETTO DESIGN + ASSOCIATES

ACCREDITED BUILDING DESIGNER No. 6334

D

sign & Associates. Construction Plans thout written consent. Plans are nstruction unless endorsed by a princip 0 NOT SCALE OFF PLANS : If there a



	drawing			
221 WILLIAM STREET			DUAL OCCL	JPANCY
YAGOONA NSW		FRONT	& REAR ELEV	ATIONS
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	007	A

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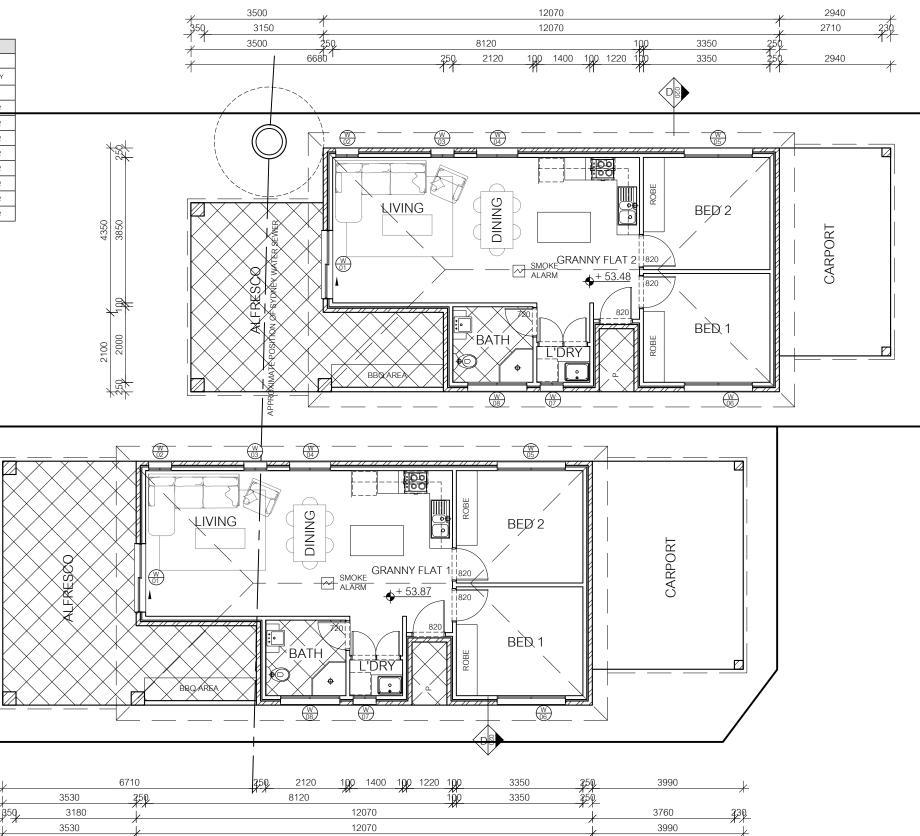
NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

		ADDI	HONAL WIP	NDOWS (GRA	NNY FLAT 1 & 2)	
			WINDOW SCI	HEDULE (BRICK	(OPENINGS)	
Window Code	Orientation	Height	Width	Area (m2)	Туре	QTY
W01	N	2140	1810	3.87	REFER TO BASIX	x2
W02	N	1540	610	0.94	REFER TO BASIX	x2
W03	N	1540	610	0.94	REFER TO BASIX	x2
W04	N	1540	1090	1.68	REFER TO BASIX	x2
W05	E	940	1810	1.70	REFER TO BASIX	x2
W06	S	940	1810	1.70	REFER TO BASIX	x2
W07	S	510	610	0.31	REFER TO BASIX	x2
W08	S	510	1570	0.80	REFER TO BASIX	x2

4350 3850

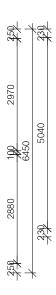
6

2100 2000





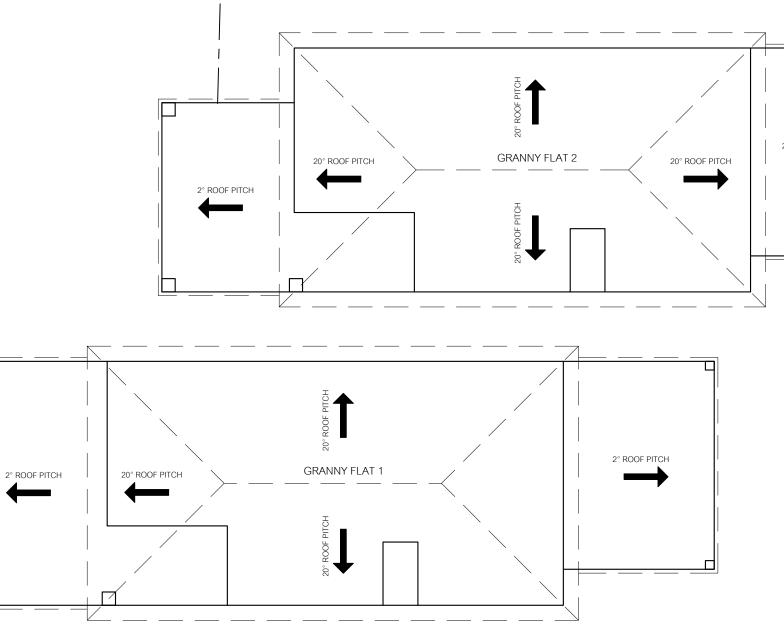
CONCETTO DESIGN & ASSOCIATES	li.	date:	issue:	comments:	drawn:	
PO BOX 184		07.04.22	А	Issued for development application assessment	JZ	
ROSELANDS NSW 2196						
1300 18 32 62 0410 625 937 www.concettodesign.com.au						-
www.concellodesign.com.au						project details
The Copyright of these plans remains at all times with Concetto Design & Associates. Construction Plans are not to be modified						TWO STOREY DUAL OCCUPANCY
without written consent. Plans are not to be used for construction unless endorsed by a principle certifying authority.	ACCREDITED					
DO NOT SCALE OFF PLANS : If there are any discrepancies, contact the job supervisor.	BUILDING DESIGNER No. 6334					- + REAR SECONDARY DWELLINGS

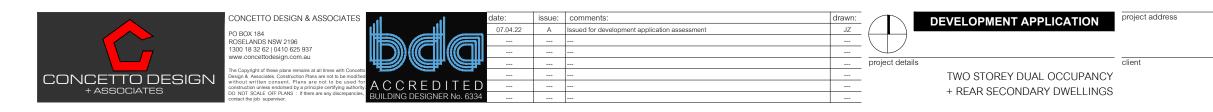


	drawing			
221 WILLIAM STREET			GRANNY FLAT	rs a & b
YAGOONA NSW			FLOC	OR PLAN
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	008	А

project address

client



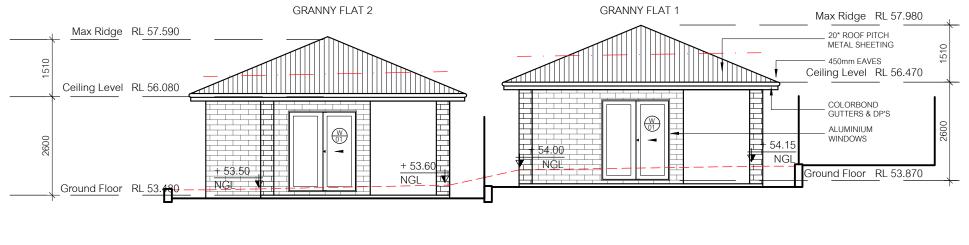


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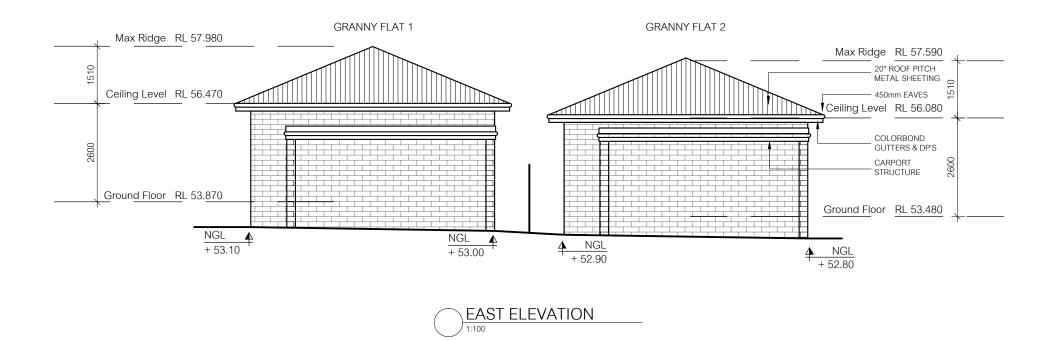


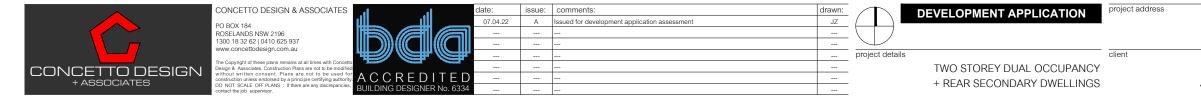
	drawing			
221 WILLIAM STREET			GRANNY FLAT	S1&2
YAGOONA NSW			ROO	F PLAN
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	008	A

	LEGEND	
1	NGL	Natural Ground Level
	PGL	Proposed Ground Level
	W	Window Code
	FB	Face Brick
	RB	Rendered Brick
	SS	Stacked Stone



WEST ELEVATION









METAL ROOF BASALT

FASCIA & GUTTERING SURFMIST

FACE BRICK MOON DUST



FEATURE COLOR SHALE GREY

WINDOWS SURFTMIST



ENTRY DOOR BEACHWOOD OAK



GARAGE DOOR SURFTMIST

	drawing			
221 WILLIAM STREET			GRANNY FLA	TS 1 & 2
YAGOONA NSW		FRONT	& REAR ELEV	ATIONS
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	010	А

LEGEND	
NGL PGI	Natural Ground Level Proposed Ground Level
W	Window Code
FB	Face Brick Rendered Brick
SS	Stacked Stone



GRANNY FLAT 1

SOUTH ELEVATION 1.100









METAL ROOF BASALT

FASCIA & GUTTERING SURFMIST

FACE BRICK MOON DUST



FEATURE COLOR SHALE GREY





ENTRY DOOR BEACHWOOD OAK

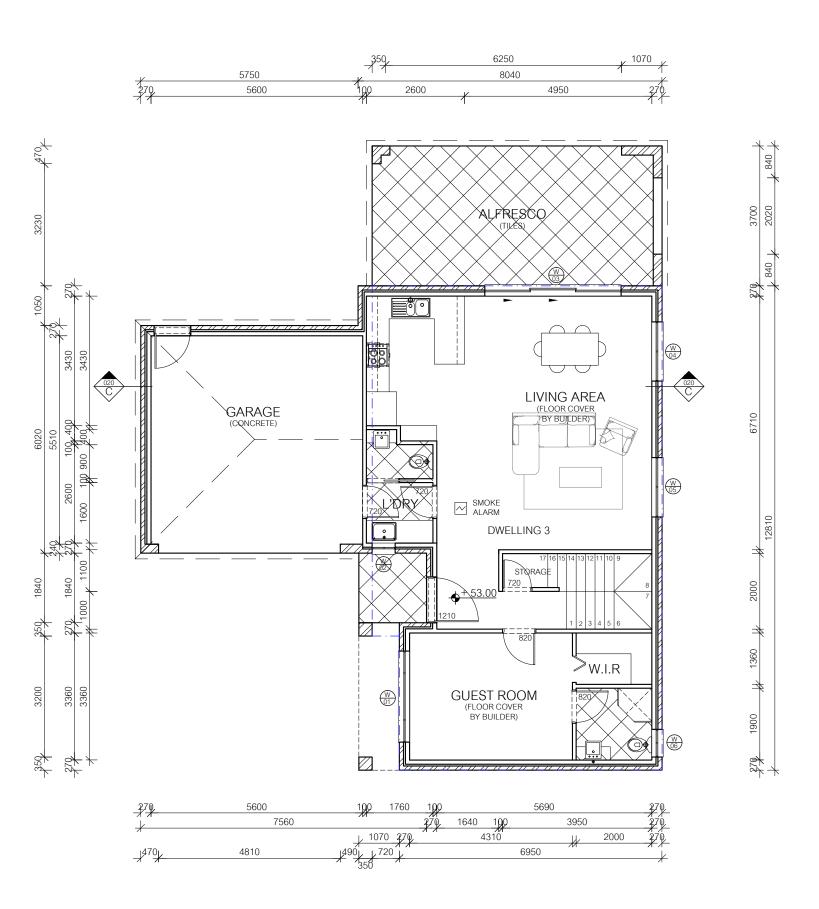


GARAGE DOOR SURFTMIST

	drawing			
221 WILLIAM STREET		(GRANNY FLAT	S1&2
YAGOONA NSW			SIDE ELEVA	TIONS
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	011	А

USED

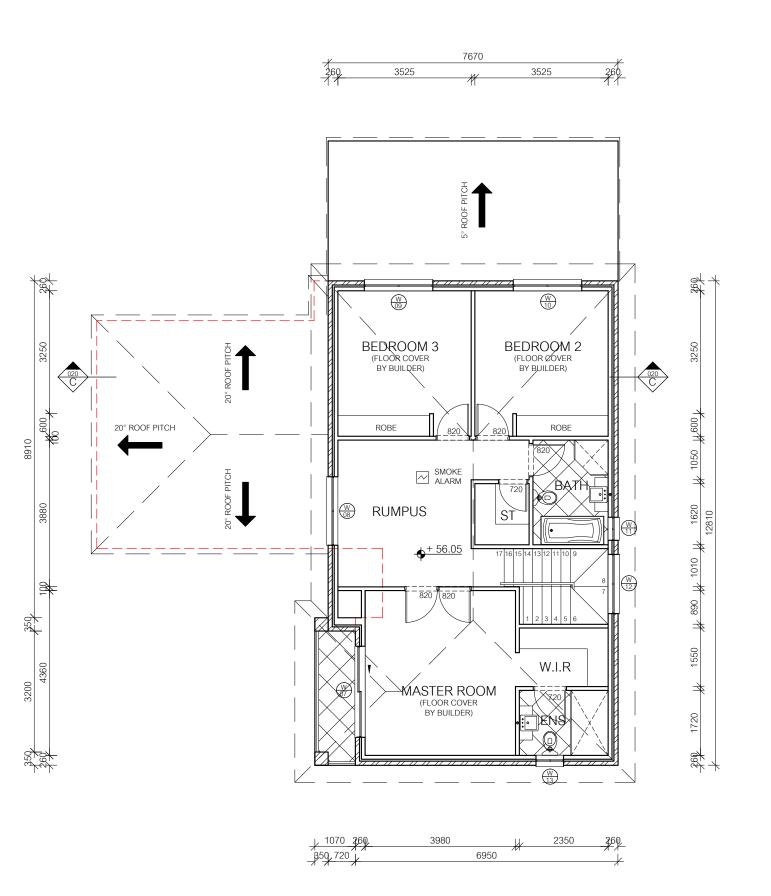
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	drawing			
221 WILLIAM STREET		BA	TTLE AXE DW	ELLING
YAGOONA NSW		G	ROUND FLOO	R PLAN
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	012	А

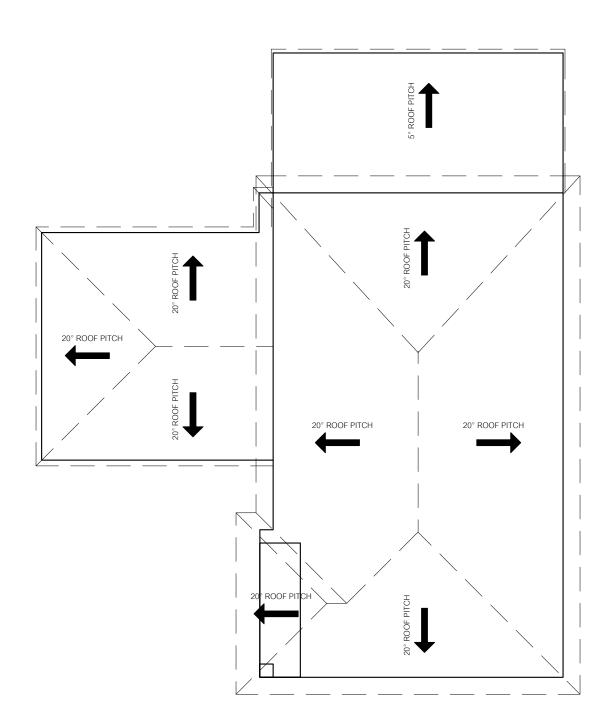
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	drawing			
221 WILLIAM STREET		BA	TTLE AXE DW	-
YAGOONA NSW			FIRST FLOO	R PLAN
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	013	А

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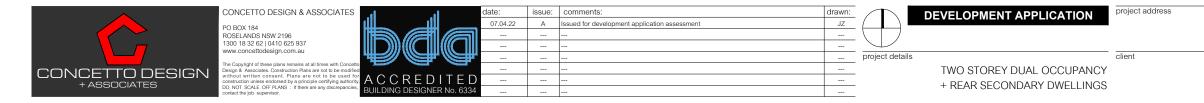


	drawing			
221 WILLIAM STREET		BA	ATTLE AXE DW	ELLING
YAGOONA NSW			ROC)F PLAN
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	014	А

NGL PGL W FB RB SS Natural Ground Level Proposed Ground Level Window Code Face Brick Rendered Brick Stacked Stone







LEGEND



20* ROOF PITCH METAL SHEETING 450mm EAVES

COLORBOND GUTTERS & DP'S

1
1

METAL ROOF BASALT

FASCIA & GUTTERING SURFMIST

FACE BRICK MOON DUST

FEATURE COLOR SHALE GREY

WINDOWS SURFTMIST

ENTRY DOOR BEACHWOOD OAK



GARAGE DOOR SURFTMIST

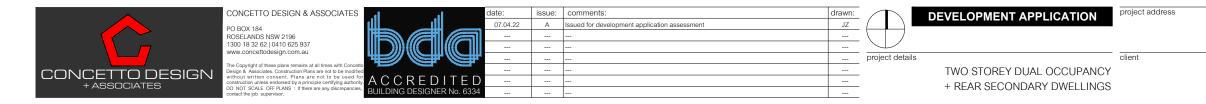
	drawing			
221 WILLIAM STREET		BA	TTLE AXE DW	/ELLING
YAGOONA NSW		FRONT	& REAR ELEV	ATIONS
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	015	А

LEGEND

- Natural Ground Level Proposed Ground Level Window Code
- NGL PGL W FB RB SS Face Brick Rendered Brick Stacked Stone









20* ROOF PITCH METAL SHEETING 450mm EAVES

COLORBOND GUTTERS & DP'S

METAL ROOF BASALT

FASCIA & GUTTERING SURFMIST

FACE BRICK MOON DUST



FEATURE COLOR SHALE GREY

WINDOWS SURFTMIST

ENTRY DOOR BEACHWOOD OAK



GARAGE DOOR SURFTMIST

PATIO TILES PORCELAIN GREY

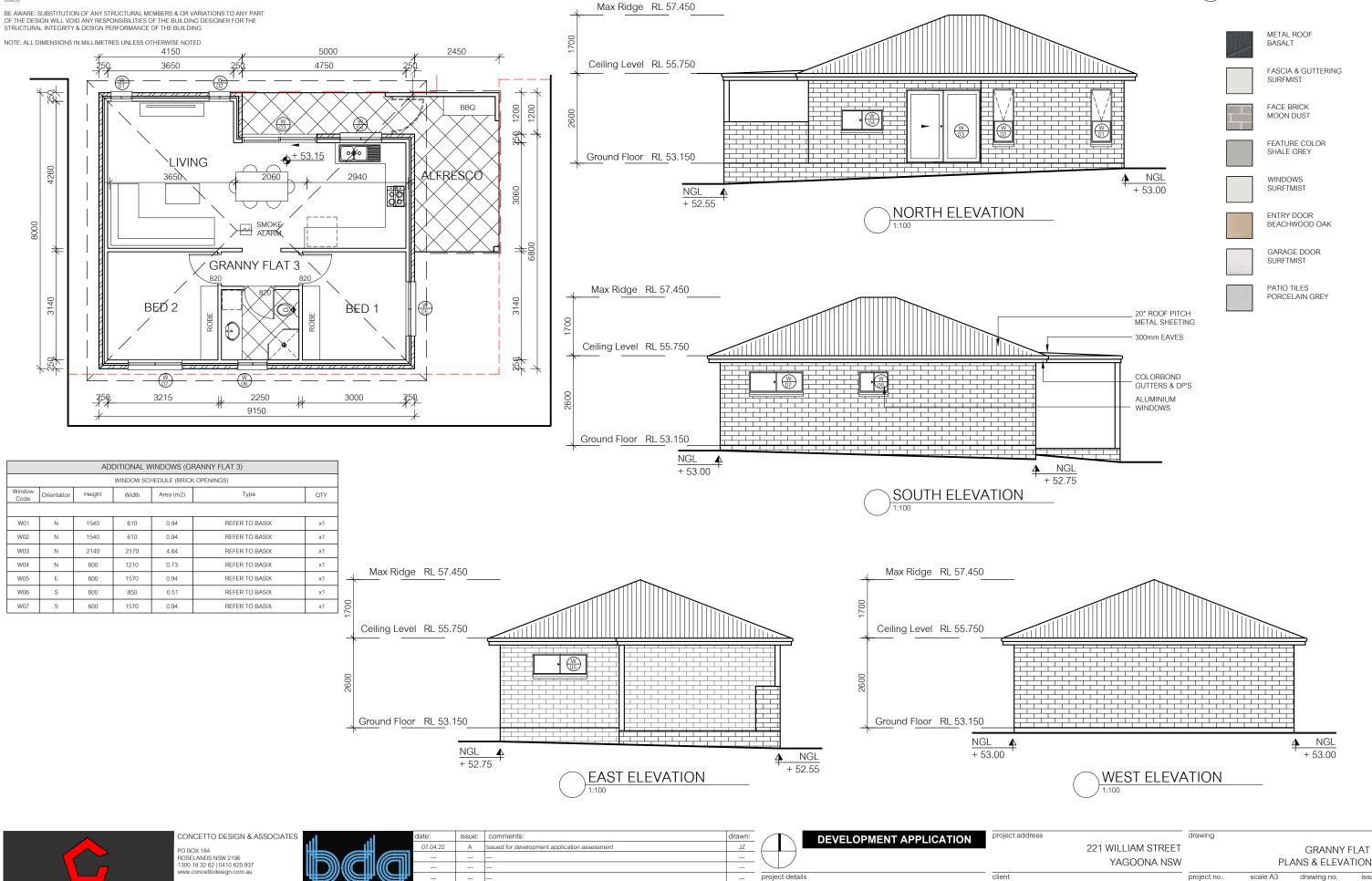
20* ROOF PITCH METAL SHEETING - 450mm EAVES

COLORBOND GUTTERS & DP'S

	drawing			
221 WILLIAM STREET		BAT	ITLE AXE DWE	ELLING
YAGOONA NSW			SIDE ELEVA	ATIONS
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	016	A

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ALE DUSING, CONTROLING THOSE IN A LEWAS TO BE IN ACCONDUCTOR THE INTERNATIONAL CONSTRUCTION CODE (NCC): THE BUILDING CODE OF AUSTRALIA (BCA) BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES CURRENT ISSUES OF AUSTRALIAN STANDARDS CURRENT MANUFACTURER'S SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED



CONCETTO DESIGN esign & Associates. Construction Plans a ithout written consent. Plans are r onstruction unless endorsed by a principl O NOT SCALE OFF PLANS : If there ar ACCREDITED

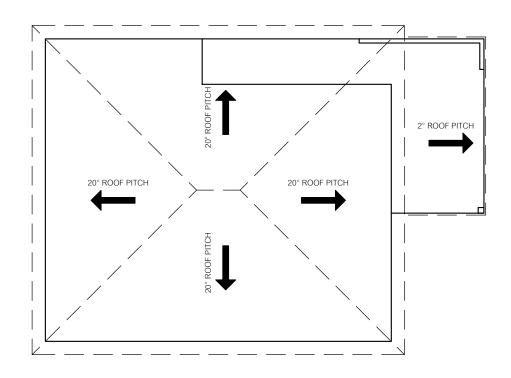
+ ASSOCIATES

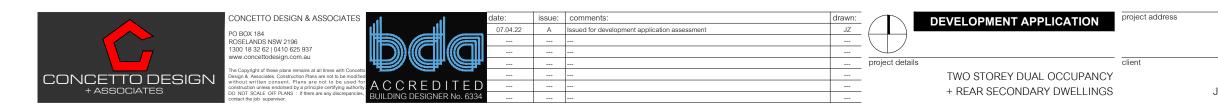
project details -------

TWO STOREY DUAL OCCUPANCY + REAR SECONDARY DWELLINGS

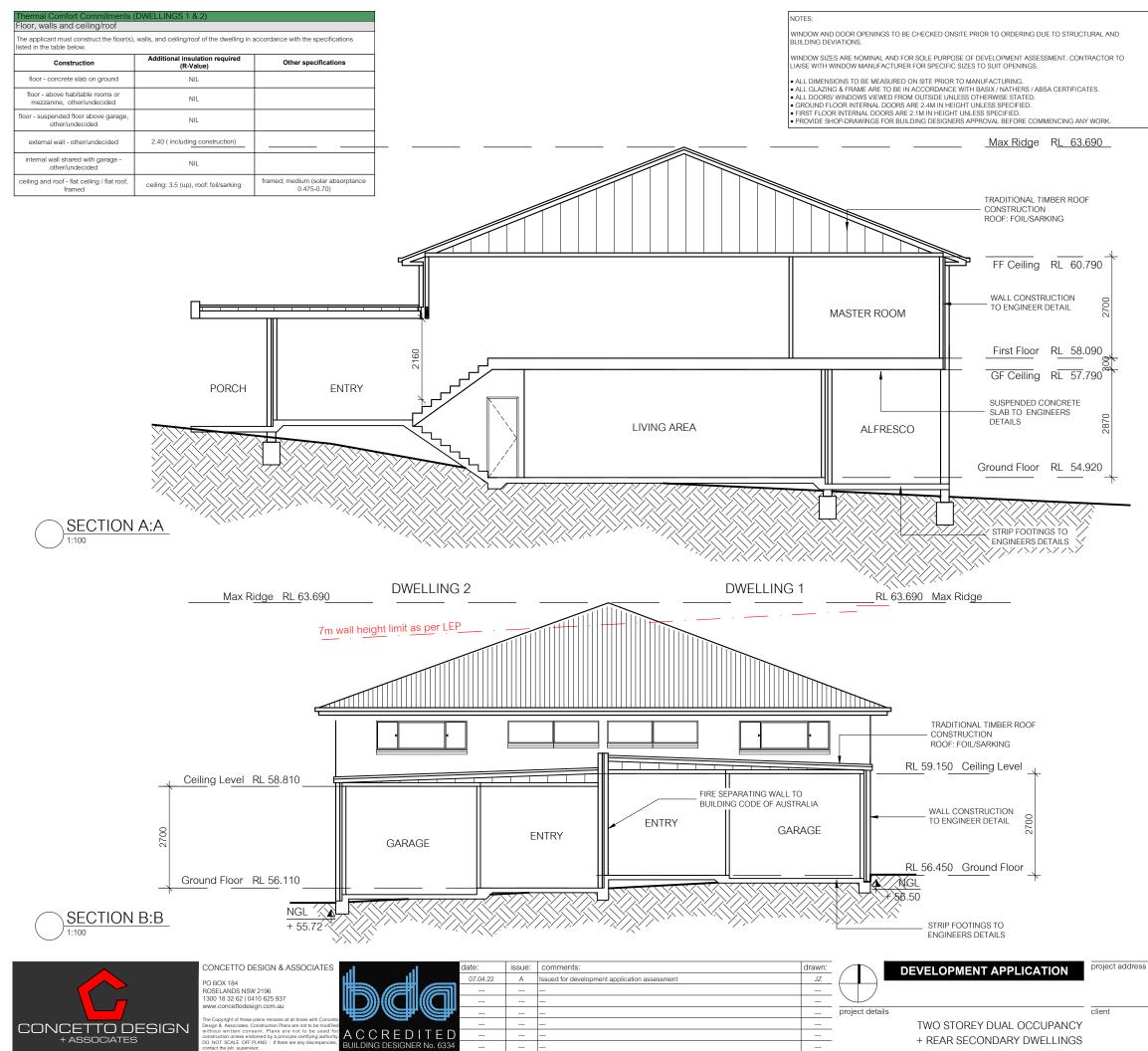
	drawing			
221 WILLIAM STREET			GRANNY	FLAT 3
YAGOONA NSW		P	LANS & ELEVA	TIONS
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	017	А

FINISHES SCHEME





	drawing			
221 WILLIAM STREET YAGOONA NSW			GRANNY I ROOF	FLAT 3 F PLAN
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	018	А



W W w w w w v W W Win Co w w w w w W W W W W Wi ٧ ٧ W W

			MINDOWS	DWELLING 1		
w lo		Hoight		HEDULE (BRICH		0.71
UI UI	rientation	Height	Width	Area (m2)	Туре	QTY
	147	0100		GROUND FLOOI		
_	W	2100	1450	3.05	'REFER TO BASIX/ABSA REPORT'	×1
_	S	600	850	0.51	'REFER TO BASIX/ABSA REPORT'	×1
_	S	2150	850	1.83	'REFER TO BASIX/ABSA REPORT'	×1
_	S	2150	850	1.83	'REFER TO BASIX/ABSA REPORT'	×1
_	E	2700	2410	6.51	'REFER TO BASIX/ABSA REPORT'	x1
+	S	2700	2410	6.51	'REFER TO BASIX/ABSA REPORT'	x1
	E	2700	1810	4.89	'REFER TO BASIX/ABSA REPORT'	x1
				FIRST FLOOR		
	W	600	2410	1.45	'REFER TO BASIX/ABSA REPORT'	x1
	W	770	2410	1.86	'REFER TO BASIX/ABSA REPORT'	x1
	S	600	1810	1.09	'REFER TO BASIX/ABSA REPORT'	x1
	S	600	1810	1.09	'REFER TO BASIX/ABSA REPORT'	x1
	E	1030	2650	2.73	'REFER TO BASIX/ABSA REPORT'	x1
	E	600	730	0.44	'REFER TO BASIX/ABSA REPORT'	x1
			DOOR SCH	EDULE (BRICK		
	w	2400	1210		ENTRY DOOR	x1
_	w	2400	3090		GARAGE DOOR	x1
	vv	2400	3090			×1
				DWELLING 2		
w lo			WINDOW SC	HEDULE (BRICH		
Or	rientation	Height	Width	Area (m2)	Туре	QTY
				GROUND FLOOI	R	
	W	2100	1450	3.05	'REFER TO BASIX/ABSA REPORT'	x1
	Ν	600	850	0.51	'REFER TO BASIX/ABSA REPORT'	x1
	N	2150	850	1.83	'REFER TO BASIX/ABSA REPORT'	x1
	N	2150	850	1.83	'REFER TO BASIX/ABSA REPORT'	x1
-	E	2700	2410	6.51	'REFER TO BASIX/ABSA REPORT'	x1
	N	2700	2410	6.51	'REFER TO BASIX/ABSA REPORT'	x1
	E	2700	1810	4.89	'REFER TO BASIX/ABSA REPORT'	×1
	L	2700	1010	FIRST FLOOR	REFER TO BASIA BOA REFORT	~1
			0.110	1		
	W	600	2410	1.45	'REFER TO BASIX/ABSA REPORT'	×1
	W	770	2410	1.86	'REFER TO BASIX/ABSA REPORT'	x1
	N	600	1810	1.09	'REFER TO BASIX/ABSA REPORT'	x1
	N	600	1810	1.09	'REFER TO BASIX/ABSA REPORT'	x1
	E	1030	2650	2.73	'REFER TO BASIX/ABSA REPORT'	x1
	E	600	730	0.44	'REFER TO BASIX/ABSA REPORT'	x1
			DOOR SCH	EDULE (BRICK	OPENINGS)	
	W	2400	1210		ENTRY DOOR	x1
	w	2400	3090		GARAGE DOOR	x1
				DWELLING 3	<u> </u>	
			WINDOW SC	HEDULE (BRICK		
w lo	viontation	Hoight		Area (m2)		ΟΤΥ
O	rientation	Height	Width		Туре	QTY
				GROUND FLOOI		
\perp	W	1200	2410	2.89	'REFER TO BASIX/ABSA REPORT'	×1
	S	1030	730	0.75	'REFER TO BASIX/ABSA REPORT'	x1
\perp	Ν	2400	3610	8.66	'REFER TO BASIX/ABSA REPORT'	×1
	E	1030	1570	1.62	'REFER TO BASIX/ABSA REPORT'	×1
	E	1030	1570	1.62	'REFER TO BASIX/ABSA REPORT'	×1
	E	600	730	0.44	'REFER TO BASIX/ABSA REPORT'	x1
				FIRST FLOOR		
	W	2140	2410	5.16	'REFER TO BASIX/ABSA REPORT'	x1
+	W	600	1810	1.09	'REFER TO BASIX/ABSA REPORT'	x1
+	N	1200	1810	2.17	'REFER TO BASIX/ABSA REPORT'	x1
+	N	1200	1810	2.17	'REFER TO BASIX/ABSA REPORT'	x1
+	E	940	610	0.57	'REFER TO BASIX/ABSA REPORT'	×1
_						
\rightarrow	E	1200	1570	1.88	'REFER TO BASIX/ABSA REPORT'	×1
	S	600	730	0.44	'REFER TO BASIX/ABSA REPORT'	x1
			DOOR SCH	EDULE (BRICK	OPENINGS)	
	W	2400	1210		ENTRY DOOR	x1

WINDOW SCHEDULE

project no.

221 WILLIAM STREET YAGOONA NSW

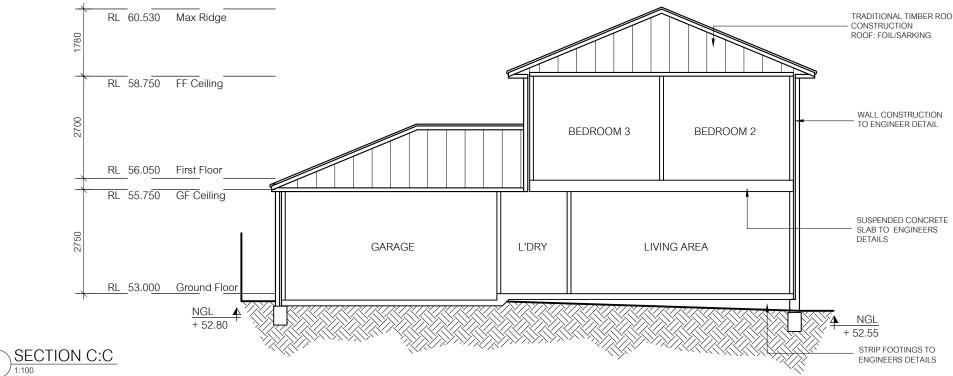
SECTIONS A & B scale A3 drawing no issue

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JL BUILDING SERVICES 21598





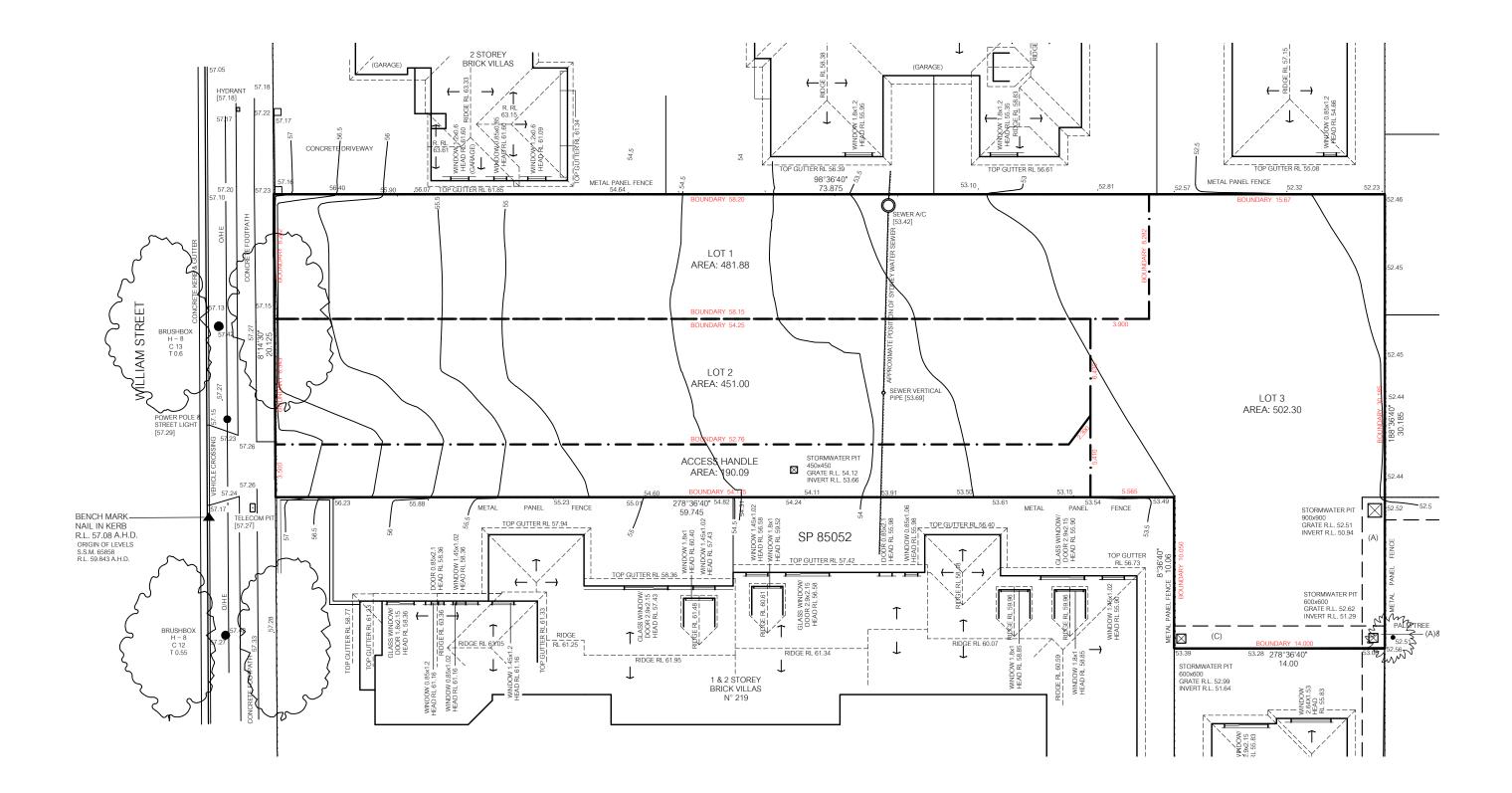


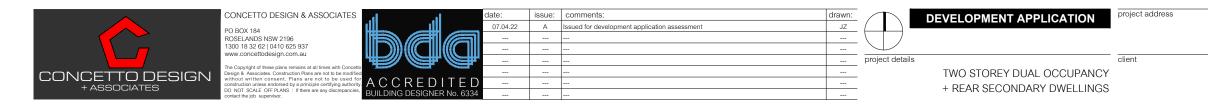
TRADITIONAL TIMBER ROOF - CONSTRUCTION ROOF: FOIL/SARKING

WALL CONSTRUCTION TO ENGINEER DETAIL

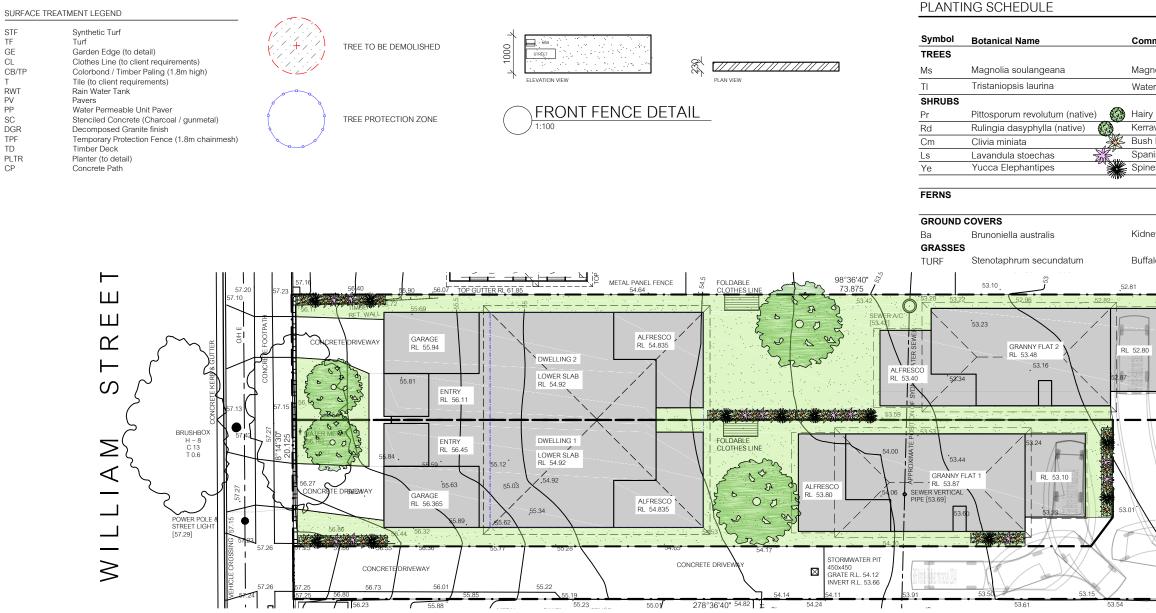
STRIP FOOTINGS TO ENGINEERS DETAILS

	drawing			
221 WILLIAM STREET				
YAGOONA NSW			SECTIONS	SC&D
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:100	019	A





	drawing			
221 WILLIAM STREET				
YAGOONA NSW			SUBDIVISIO	N PLAN
	project no.	scale A3	drawing no.	issue
JL BUILDING SERVICES	21598	1:250	021	А



NOTES AND SPECIFICATIONS

GARDEN BED / MULCH

The topsoil to all garden bed areas shall be 4 part site topsoil to 1 part organic compost thoroughly mixed together prior to placing into position. Where site topsoil is not suitable imported topsoil shall be used. Garden bed subgrades are to be cultivated to a depth of 150mm. Topsoil depths to all garden bed areas to be 300mm (min). At the completion of all planting operations apply a 75mm layer mulch over entire garden bed taking care not to smother plants. Reduce depth of mulch around base of plants to form "watering dish". Mulch to be Pine Bark Nuggets as supplied by ANL or similar. Where proposed planting has been located within an onsite surface detention basin mulch laver shall be Nepean River Gravel or other similar material.

TURF

Apply 150 layer of topsoil to all turfed areas laid over deep soil. Prior to laying turf, contractor to ensure al topsoil areas are smoothly graded with no surface depressions or other irregularities, large stones or building debris. The surface is to have even running falls to all drainage points. Turf used for this site shall be cultivated 'Sir Walter Buffalo', Unless specified otherwise, turf shall be laid flush with adjacent finished levels. Water turfed areas immediately after turfing operations. Topdress any excessively undulating areas to form a smooth level surface with a coarse grade washed river sand.

GARDEN EDGING

All garden edging is to be constructed using masonry paver over 100 layer mortar.

PROPOSED TREES

All tree planting holes are to be excavated 200mm wider and at least 200mm deeper than rootball size (Container size). All trees are to be staked with 2 x 50 x 50 x 2400 HW stake. Secure tree to stake using 50mm jute webbing tied in figure 8 loop. Drive stakes into ground well clear of rootball. Where trees are planted in turfed areas, ensure a 75mm layer of mulch is placed around the base of the tree to the extent of the excavated area, reduce depth of mulch around stem to form watering dish.



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ithout written consent. Plans are onstruction unless endorsed by a princi O NOT SCALE OFF PLANS : If there

EXISTING TREES TO BE RETAINED

The existing trees shown on the plan which are to be retained are to be protected for the duration of the The existing trees shown on the plant which are to be retained are to be protected for the duration or the construction period. Install a 1.8m high temporary protective fence to the locations as indicated (TPF) on the plans using chain mesh or similar. Attach sign on fence to advise contractors. Do not store or otherwise place bulk or harmful materials under or near a tree which is to be retained. Do no attach stays, guys and the like to a tree which is to be retained. Where it is absolutely necessary to cut tree roots firstly obtain Council approval. Do not carryout any tree work until all council approvals have been obtained in writing. Once approval has been obtained use means such that cutting of the roots does not unduly disturb the remaining root system. Immediately after cutting, apply a bituminous fungicidal sealant to the cut surface to prevent the incursion of not carrises. All tree work such as root be branch or uning on trenain of any damage caused is to be carried rot or disease. All tree work such as root or branch pruning or repair of any damage caused is to be carried out by a qualified and insured arborist to the satisfaction of Council.

Prior to the occupation of the dwellings all exiting trees to be retained are to be inspected by an arborist and all necessary works such as removal of dead or dying limbs, carried out (only with Council Approval) to ensure safety of the future occupants. Apply 75mm layer of mulch around the base of each tree to be retained.

MAINTENACE

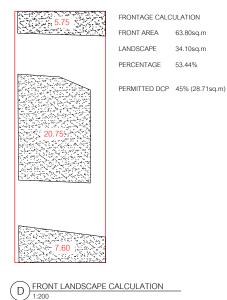
Maintain all landscape areas to ensure plant health and occupant safety for a period of 6 months beginning from date of practical completion to the satisfaction of Council. Maintenance will include but is not limited to the followings activities

- Mowing
- Edging
- Top dressing
- Fertilizing all plant material
- Pruning
- Watering
- Replacing failed planting
- Treating for pests and diseases
- Topping up of mulch areas
- Weeding garden beds and turf area
0.0

Note: All trees will require regular ongoing observation and maintenance

DISCREPANCIES

Should there be any discrepancies on the drawings and / or on site, landscape contractor to notify the site supervisor for resolution prior to the commencement of the works. Where the situation is not readily resolve onsite, the site supervisor is to notify the landscape designer immediately for correction.





project address issue: comments: drawn: **DEVELOPMENT APPLICATION** 07.04.22 А Issued for development application assessme JZ client project details ----TWO STOREY DUAL OCCUPANCY ACCREDITED ----+ REAR SECONDARY DWELLINGS

ht Spaci 3m 5m 0.5m	ing Pot Size 45L 75L 200mm	2 Qty 2 3 14
5m	75L	3
5m	75L	3
-	-	-
0.5m	200mm	14
0.5m	200mm	14
0.5m	200mm	26
0.5m	200mm	10
0.5m	200mm	34
1m	150mm	8
	0.5m	0.5m 200mm

