

ALL DESIGN, CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:  
THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA)  
BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES  
CURRENT ISSUES OF AUSTRALIAN STANDARDS  
CURRENT MANUFACTURER'S SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED

BE AWARE: SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & DESIGN PERFORMANCE OF THE BUILDING

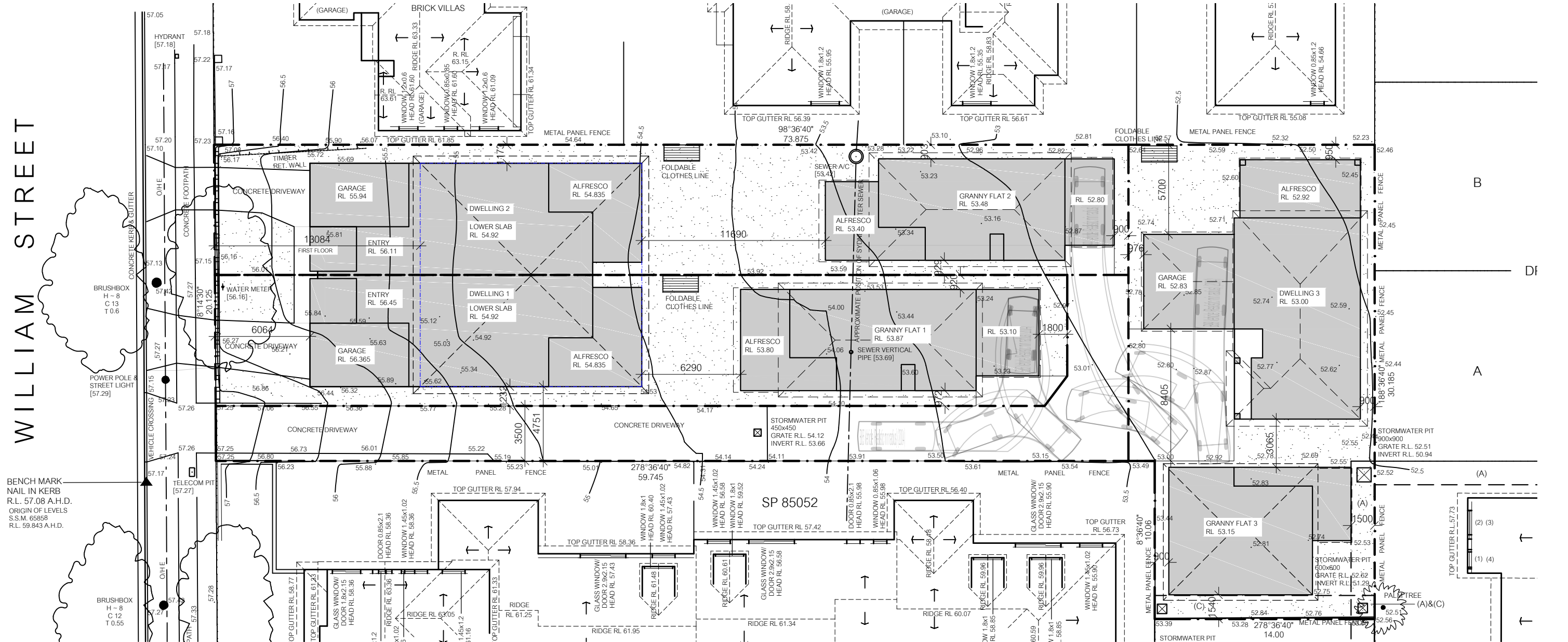
NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

LEGEND

NGL Natural Ground Level  
PGL Proposed Ground Level  
DP Down Pipe  
MB Meter Box



FRONT FENCE DETAIL  
1:100



**CONCETTO DESIGN + ASSOCIATES**

PO BOX 184  
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1300 18 32 62 | 0410 625 937  
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**dd**

ACCREDITED  
BUILDING DESIGNER No. 6334

date:	issue:	comments:	drawn:
07.04.22	A	Issued for development application assessment	JZ
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DEVELOPMENT APPLICATION

TWO STOREY DUAL OCCUPANCY  
+ REAR SECONDARY DWELLINGS

www.dialbeforeyoudig.com.au		
BUILD AWAY FROM SEWER		
AREA CALCULATIONS		
Dwelling 1	Dwelling 2	Dwelling 3
Site Area: 451.00m²	Site Area: 481.88m²	Site Area: 502.30m²
Gross Floor Area	Gross Floor Area	Gross Floor Area
Ground Floor: 77.36m²	Ground Floor: 77.36m²	Ground Floor: 84.38m²
First Floor: 85.75m²	First Floor: 85.75m²	First Floor: 80.15m²
*Garage: 22.10m²	*Garage: 22.10m²	*Garage: 30.80m²
*Void: 6.1m²	*Void: 6.1m²	*Void: 5.3m²
(*exclude from GFA):	(*exclude from GFA):	(*exclude from GFA):
Secondary Dwelling: 60.00m²	Secondary Dwelling: 60.00m²	Secondary Dwelling: 60.00m²
Total: 223.11m²	Total: 223.11m²	Total: 224.53m²
Floor Space Ratio: 49.47%	Floor Space Ratio: 46.29%	Floor Space Ratio: 44.70%
Landscape	Landscape	Landscape
Pervious Area: 150.50m²	Pervious Area: 194.50m²	Pervious Area: 137.50m²
Impervious Area: 300.50m²	Impervious Area: 289.38m²	Impervious Area: 364.80m²
Total Impervious: 66.6%	Total Impervious: 59.63%	Total Impervious: 72.60%

project address 221 WILLIAM STREET  
YAGOONA NSW

client JL BUILDING SERVICES 21598

drawing 1:250

project no. 001

scale A3

drawing no. A

issue

NOTE:

All existing structures, concrete and paths on site to be demolished by licensed contractors.

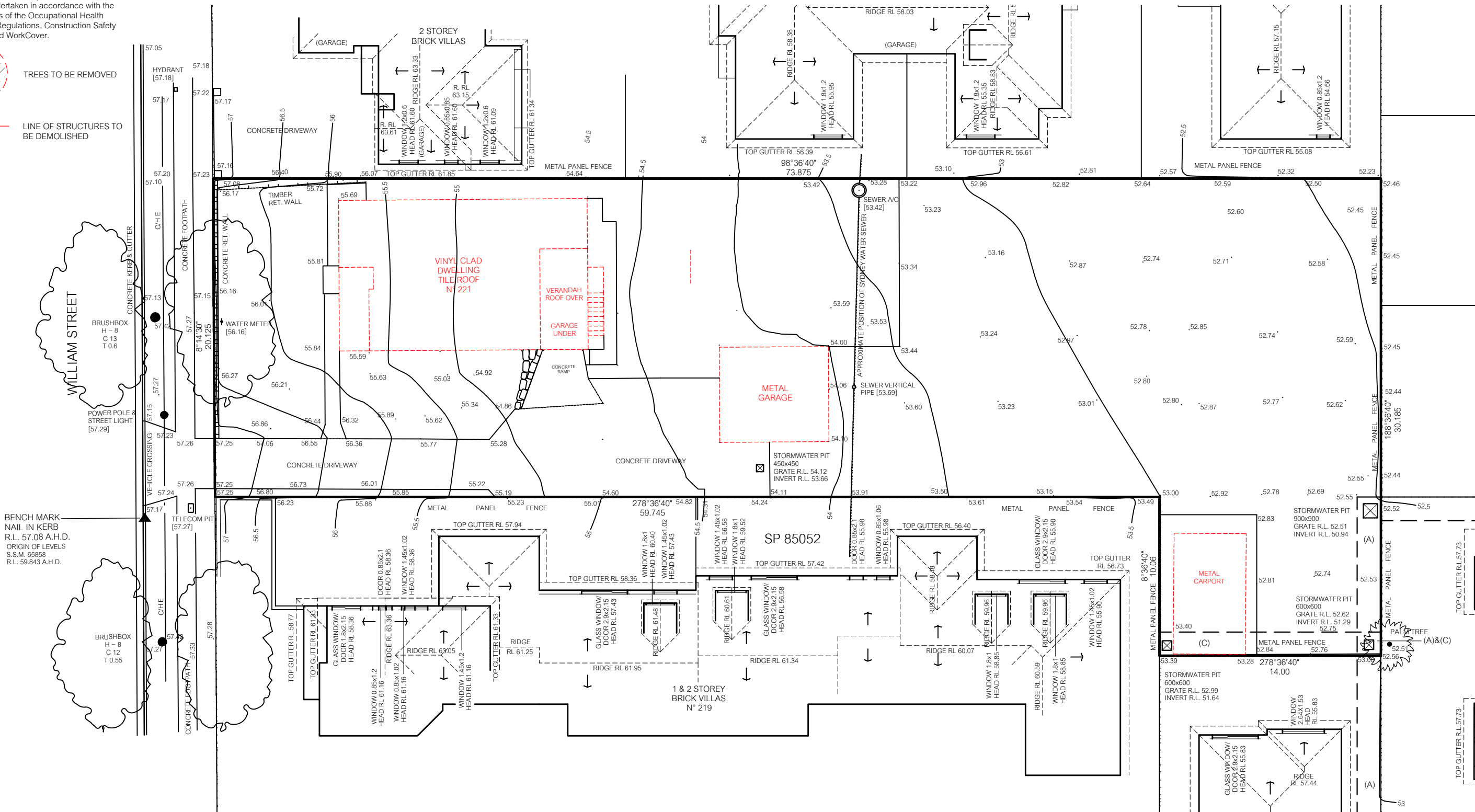
All demolition work must be carried out in accordance with Australian Standard 2601-1991 Demolition of Structures.

All demolition and disposal of asbestos must be undertaken in accordance with the requirements of the Occupational Health and Safety Regulations, Construction Safety Act, EPA and WorkCover.



TREES TO BE REMOVED

--- LINE OF STRUCTURES TO BE DEMOLISHED



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project details

**DEVELOPMENT APPLICATION**

TWO STOREY DUAL OCCUPANCY  
+ REAR SECONDARY DWELLINGS

project address

221 WILLIAM STREET  
YAGOONA NSW

client

JL BUILDING SERVICES

drawing

DEMOLITION PLAN

project no.

scale A3

drawing no.

issue

21598

1:250

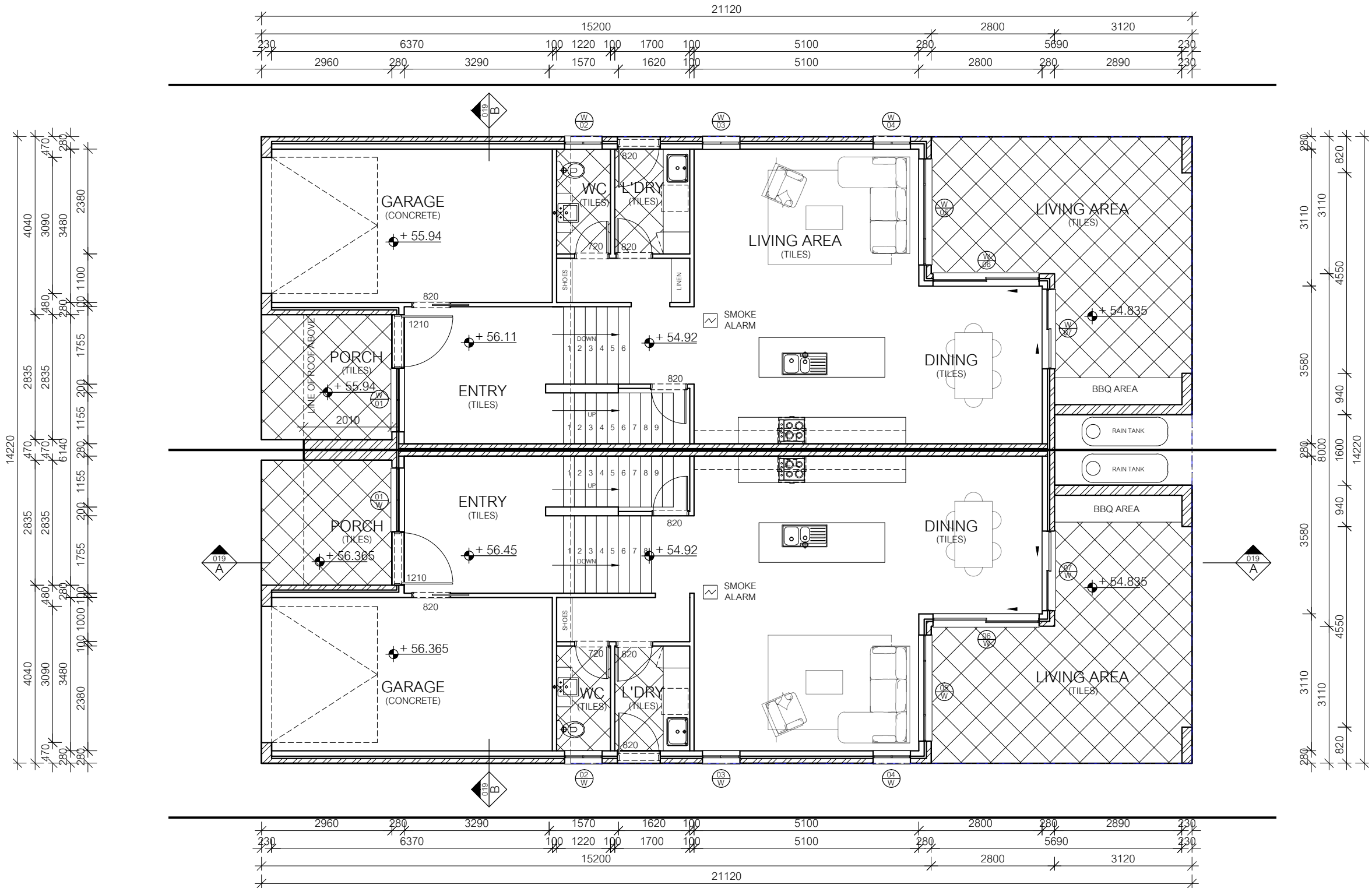
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project details

DEVELOPMENT APPLICATION

TWO STOREY DUAL OCCUPANCY  
+ REAR SECONDARY DWELLINGS

project address

221 WILLIAM STREET  
YAGOONA NSW

client

JL BUILDING SERVICES

drawing

project no.

scale A3

drawing no.

issue

DUAL OCCUPANCY  
GROUND FLOOR PLAN

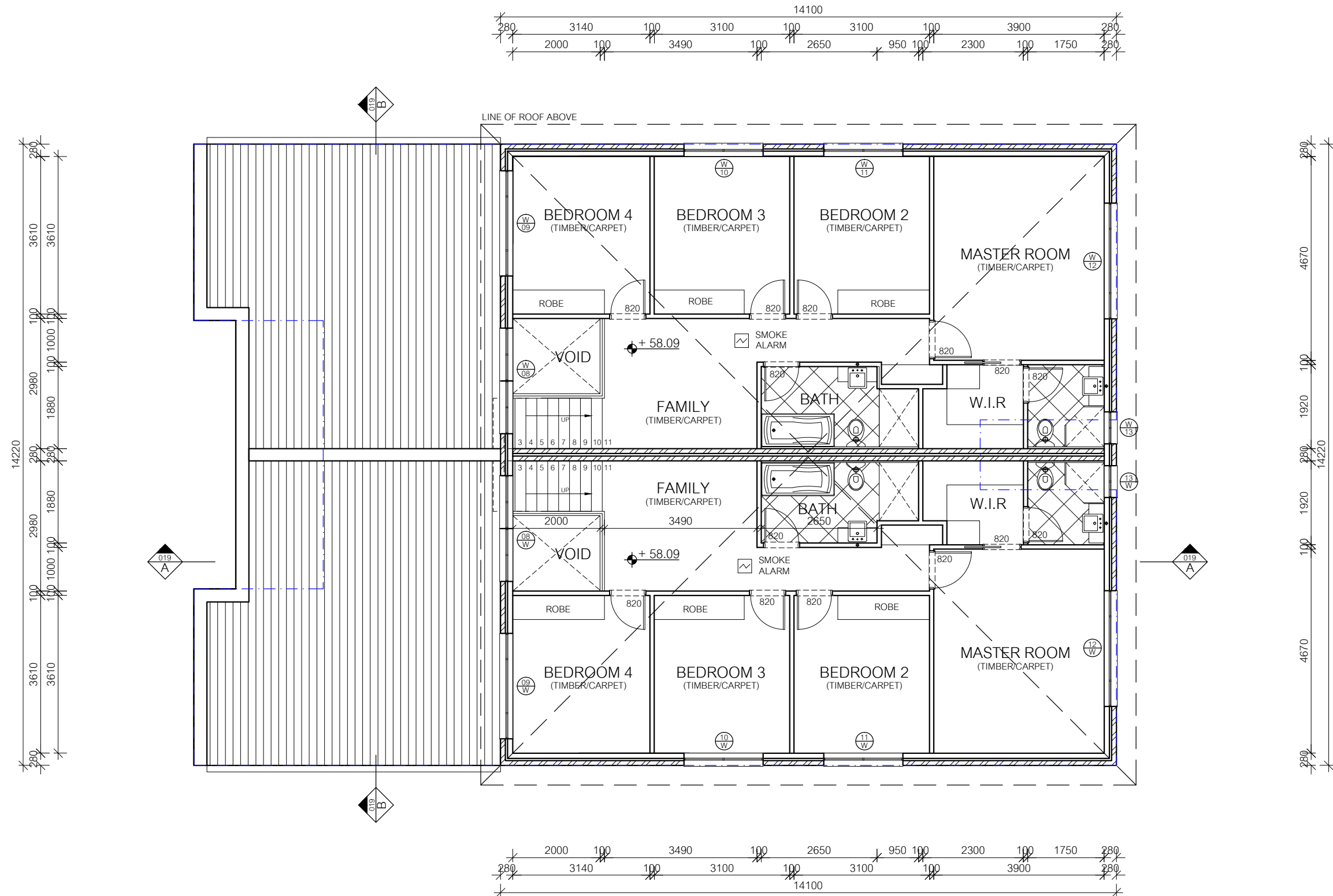
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003

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NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED

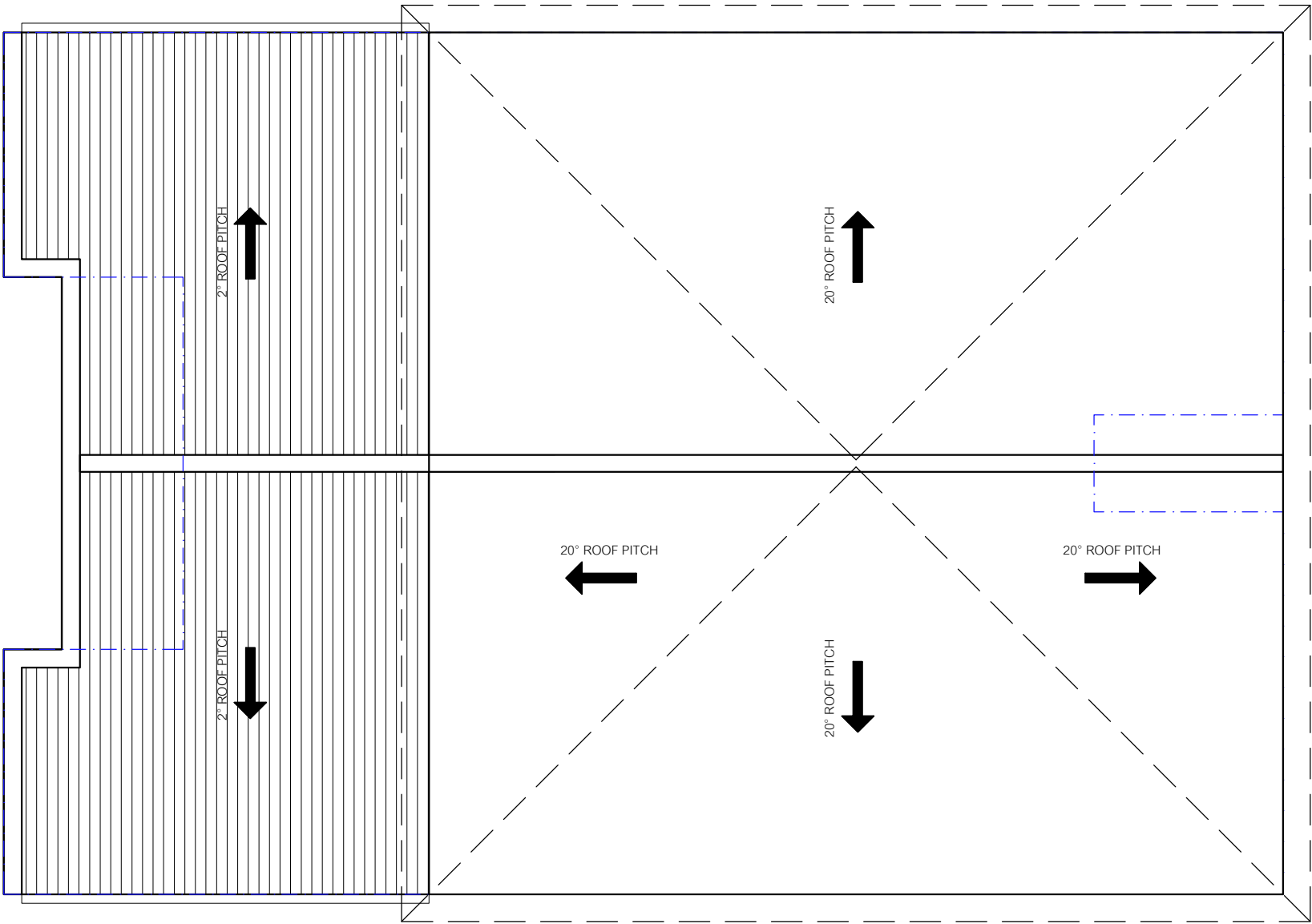




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project details

DEVELOPMENT APPLICATION

TWO STOREY DUAL OCCUPANCY  
+ REAR SECONDARY DWELLINGS

project address	221 WILLIAM STREET YAGOONA NSW
client	JL BUILDING SERVICES

drawing	DUAL OCCUPANCY ROOF PLAN			
project no.	scale A3	drawing no.	issue	
21598	1:100	005	A	

LEGEND	
NGL	Natural Ground Level
PGL	Proposed Ground Level
W	Window Code
FB	Face Brick
RB	Rendered Brick
SS	Stacked Stone

FINISHES SCHEME

- METAL ROOF BASALT
- FASCIA & GUTTERING SURFMIST
- FACE BRICK MOON DUST
- FEATURE COLOR SHALE GREY
- WINDOWS SURFTMIST
- ENTRY DOOR BEACHWOOD OAK
- GARAGE DOOR SURFTMIST
- PATIO TILES PORCELAIN GREY



WEST ELEVATION  
1:100



EAST ELEVATION  
1:100



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DEVELOPMENT APPLICATION

TWO STOREY DUAL OCCUPANCY  
+ REAR SECONDARY DWELLINGS

project address  
221 WILLIAM STREET  
YAGOONA NSW  
client  
JL BUILDING SERVICES

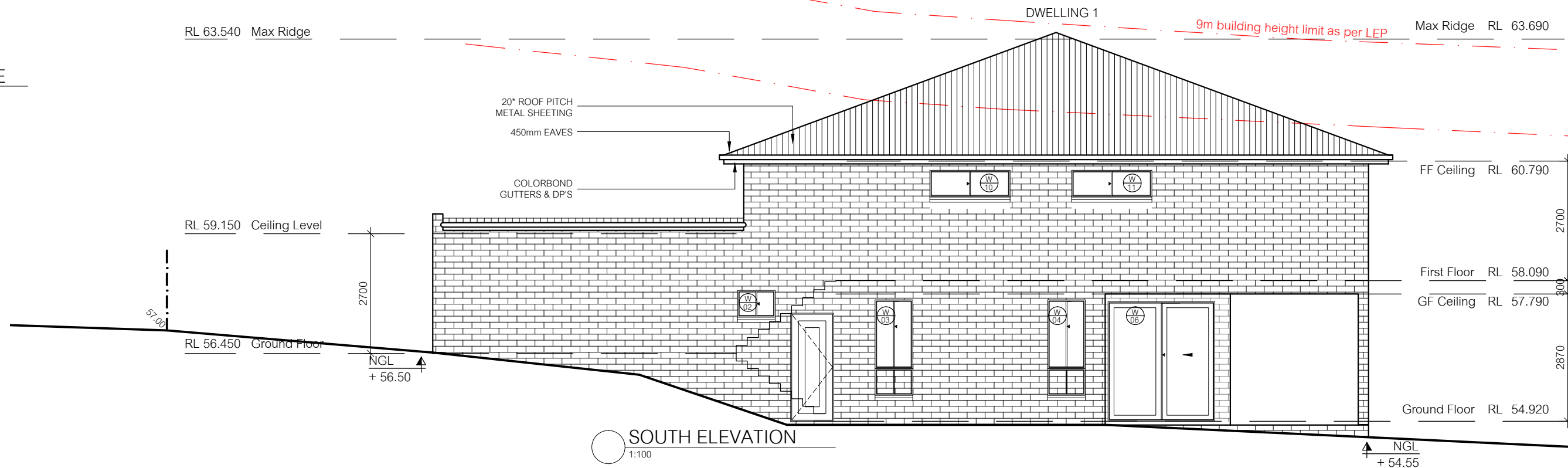
drawing  
DUAL OCCUPANCY  
FRONT & REAR ELEVATIONS  
project no. 21598  
scale A3 1:100  
drawing no. 006  
issue A

LEGEND

NGL Natural Ground Level  
PGL Proposed Ground Level  
W Window Code  
FB Face Brick  
RB Rendered Brick  
SS Stacked Stone

FINISHES SCHEME

- METAL ROOF BASALT
- FASCIA & GUTTERING SURFMIST
- FACE BRICK MOON DUST
- FEATURE COLOR SHALE GREY
- WINDOWS SURFTMIST
- ENTRY DOOR BEACHWOOD OAK
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project details

DEVELOPMENT APPLICATION

TWO STOREY DUAL OCCUPANCY  
+ REAR SECONDARY DWELLINGS

project address  
221 WILLIAM STREET  
YAGOONA NSW  
client  
JL BUILDING SERVICES

drawing  
DUAL OCCUPANCY  
FRONT & REAR ELEVATIONS  
project no. 21598  
scale A3 1:100  
drawing no. 007  
issue A

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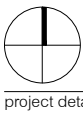
ADDITIONAL WINDOWS (GRANNY FLAT 1 & 2)						
WINDOW SCHEDULE (BRICK OPENINGS)						
Window Code	Orientation	Height	Width	Area (m2)	Type	QTY
W01	N	2140	1810	3.87	REFER TO BASIX	x2
W02	N	1540	610	0.94	REFER TO BASIX	x2
W03	N	1540	610	0.94	REFER TO BASIX	x2
W04	N	1540	1090	1.68	REFER TO BASIX	x2
W05	E	940	1810	1.70	REFER TO BASIX	x2
W06	S	940	1810	1.70	REFER TO BASIX	x2
W07	S	510	610	0.31	REFER TO BASIX	x2
W08	S	510	1570	0.80	REFER TO BASIX	x2



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project details

### DEVELOPMENT APPLICATION

TWO STOREY DUAL OCCUPANCY  
+ REAR SECONDARY DWELLINGS

project address

221 WILLIAM STREET  
YAGOONA NSW

client

JL BUILDING SERVICES

drawing

GRANNY FLATS A & B  
FLOOR PLAN

project no.

scale A3

drawing no.

issue

21598

1:100

008

A



date:	issue:	comments:	drawn:
07.04.22	A	Issued for development application assessment	JZ
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project details

DEVELOPMENT APPLICATION

TWO STOREY DUAL OCCUPANCY  
+ REAR SECONDARY DWELLINGS

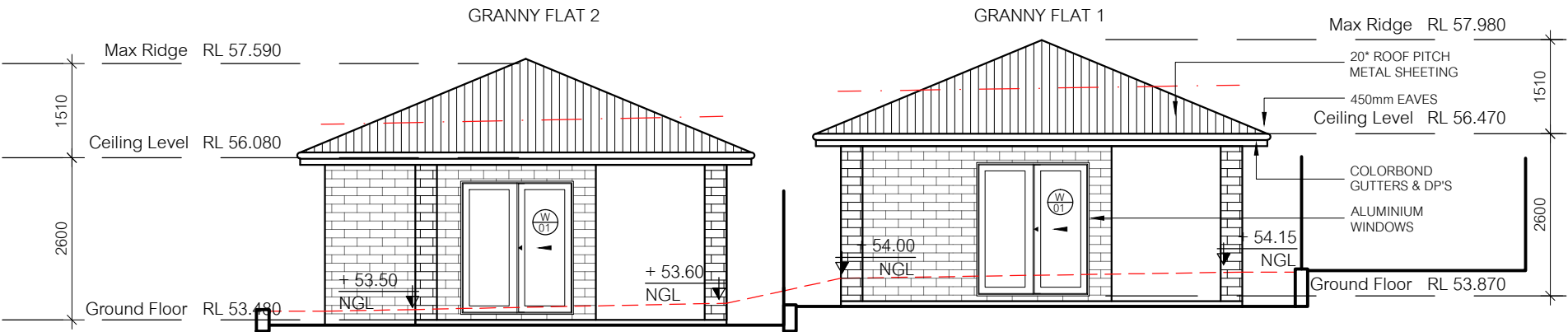
project address	221 WILLIAM STREET YAGOONA NSW
client	JL BUILDING SERVICES

drawing	GRANNY FLATS 1 & 2 ROOF PLAN			
project no.	scale A3	drawing no.	issue	
21598	1:100	008	A	

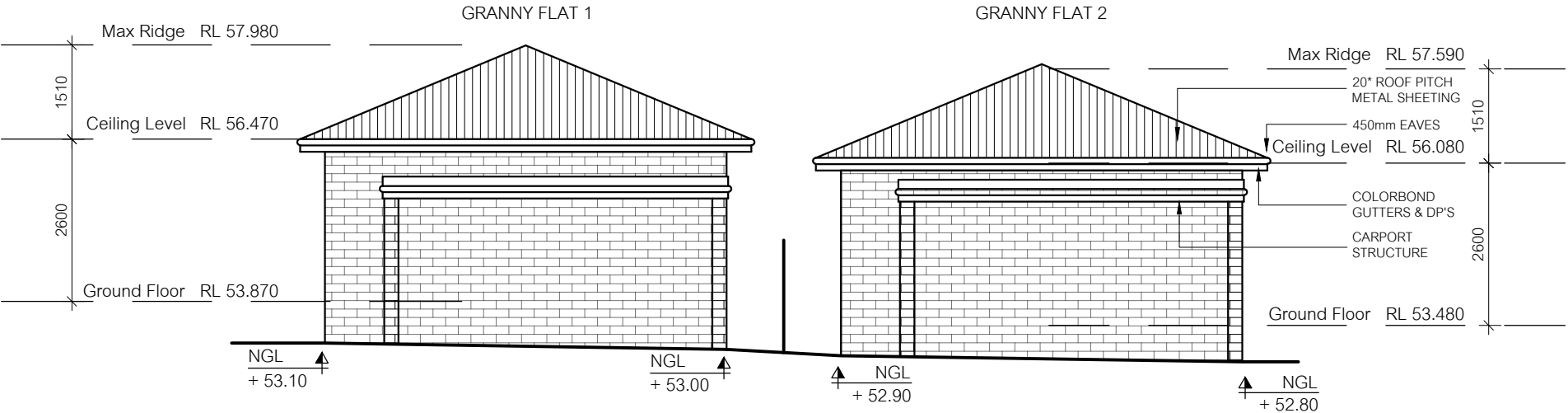
LEGEND	
NGL	Natural Ground Level
PGL	Proposed Ground Level
W	Window Code
FB	Face Brick
RB	Rendered Brick
SS	Stacked Stone

FINISHES SCHEME

- METAL ROOF  
BASALT
- FASCIA & GUTTERING  
SURFMIST
- FACE BRICK  
MOON DUST
- FEATURE COLOR  
SHALE GREY
- WINDOWS  
SURFTMIST
- ENTRY DOOR  
BEACHWOOD OAK
- GARAGE DOOR  
SURFTMIST
- PATIO TILES  
PORCELAIN GREY



WEST ELEVATION  
1:100



EAST ELEVATION  
1:100



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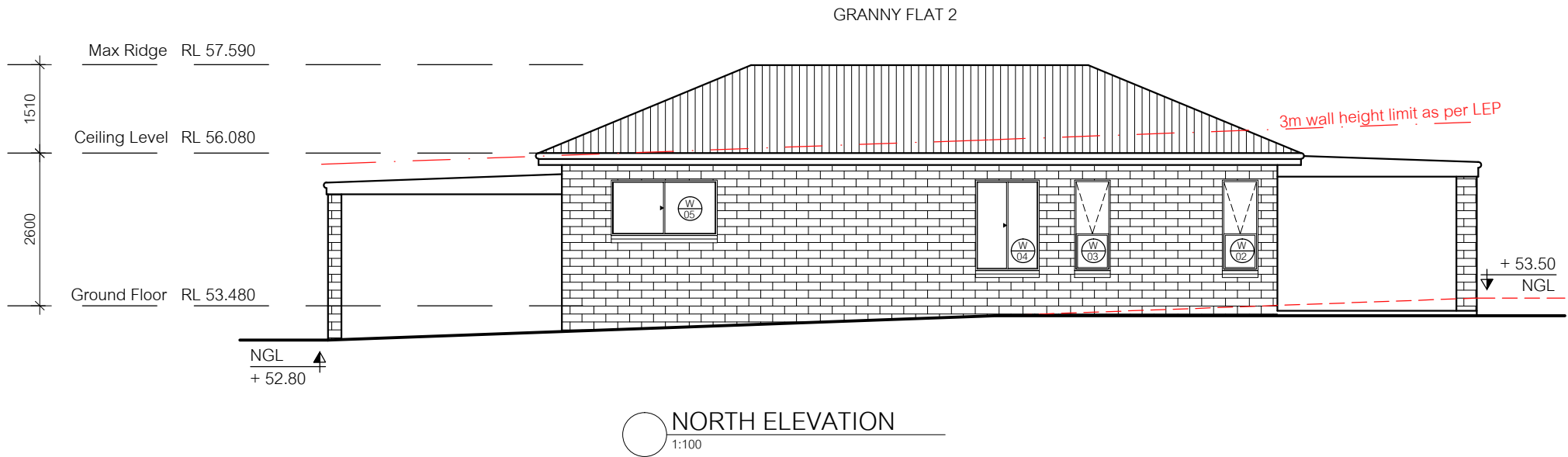
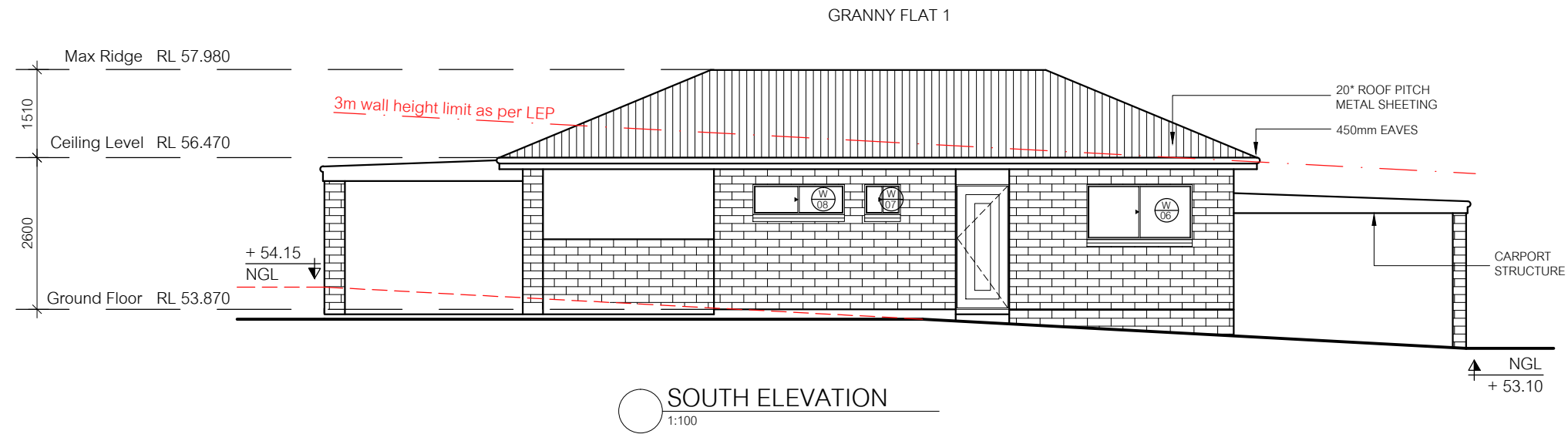
project address  
221 WILLIAM STREET  
YAGOONA NSW  
client  
JL BUILDING SERVICES

drawing  
GRANNY FLATS 1 & 2  
FRONT & REAR ELEVATIONS  
project no. 21598  
scale A3 1:100  
drawing no. 010  
issue A

LEGEND	
NGL	Natural Ground Level
PGL	Proposed Ground Level
W	Window Code
FB	Face Brick
RB	Rendered Brick
SS	Stacked Stone

FINISHES SCHEME

- METAL ROOF BASALT
- FASCIA & GUTTERING SURFMIST
- FACE BRICK MOON DUST
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DEVELOPMENT APPLICATION

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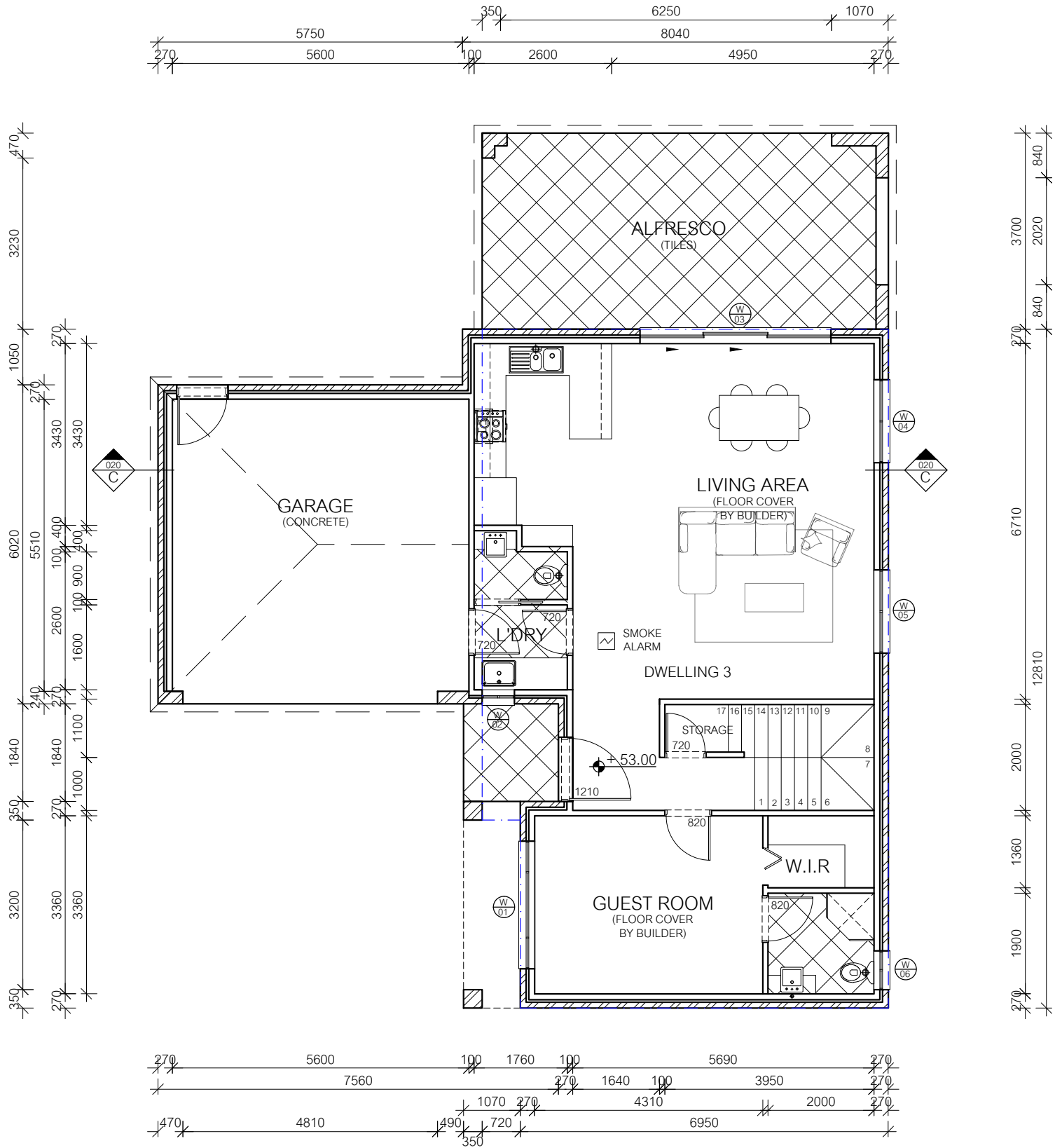
client  
JL BUILDING SERVICES

drawing				GRANNY FLATS 1 & 2 SIDE ELEVATIONS			
project no.	scale A3	drawing no.	issue	project no.	scale A3	drawing no.	issue
21598	1:100	011	A				

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project address

221 WILLIAM STREET  
YAGOONA NSW

client

JL BUILDING SERVICES

drawing

project no.

scale A3

BATTLE AXE DWELLING  
GROUND FLOOR PLAN

drawing no.

issue

21598

1:100

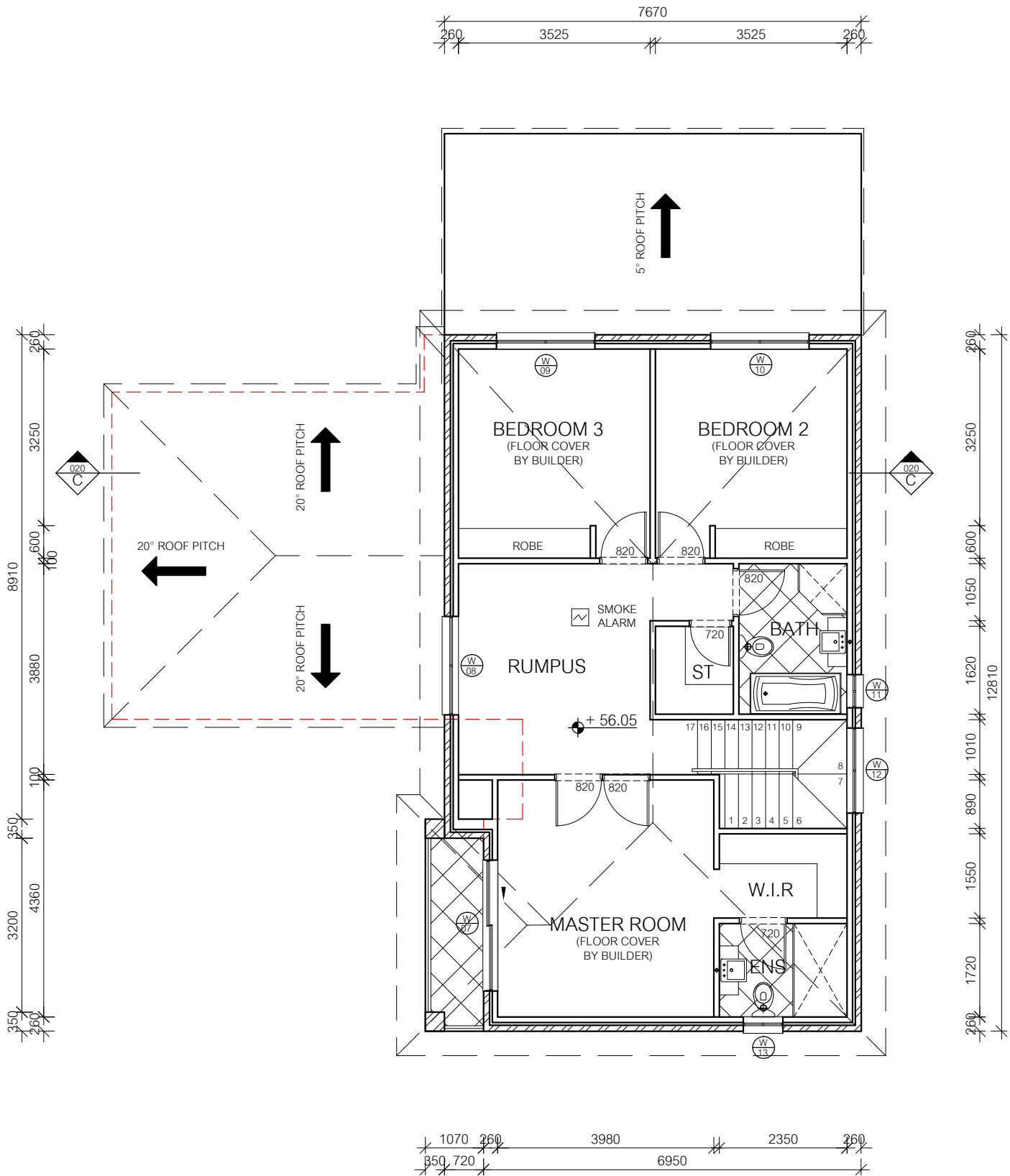
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client	JL BUILDING SERVICES

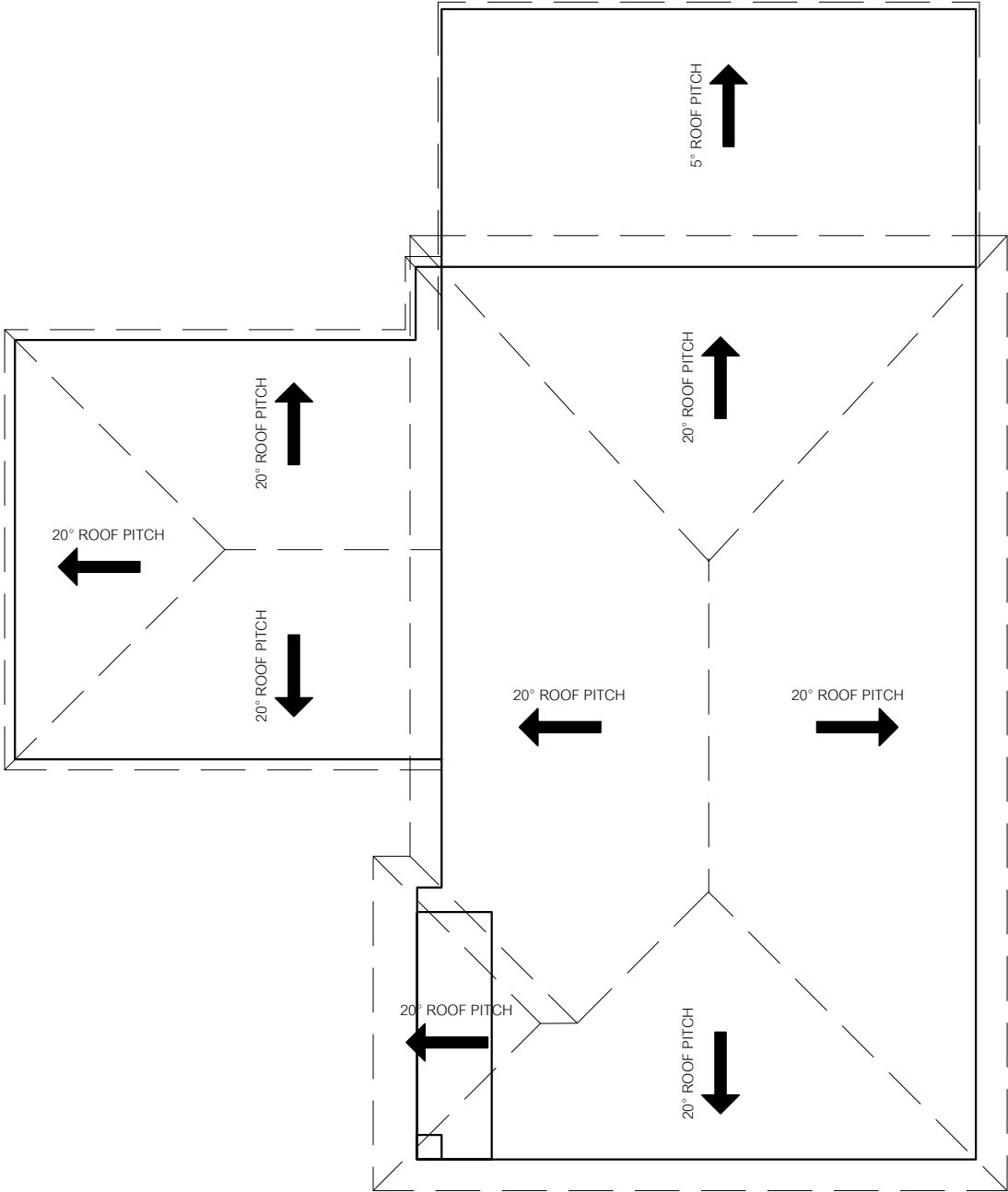
drawing	BATTLE AXE DWELLING FIRST FLOOR PLAN
project no.	21598
scale A3	1:100
drawing no.	013
issue	A



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CONCETTO DESIGN  
+ ASSOCIATES

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BUILDING DESIGNER No. 6334

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DEVELOPMENT APPLICATION

TWO STOREY DUAL OCCUPANCY  
+ REAR SECONDARY DWELLINGS

project address	221 WILLIAM STREET YAGOONA NSW
client	JL BUILDING SERVICES

drawing	BATTLE AXE DWELLING ROOF PLAN
project no.	21598
scale A3	1:100
drawing no.	014
issue	A

LEGEND	
NGL	Natural Ground Level
PGL	Proposed Ground Level
W	Window Code
FB	Face Brick
RB	Rendered Brick
SS	Stacked Stone



FINISHES SCHEME	
	METAL ROOF BASALT
	FASCIA & GUTTERING SURFTMIST
	FACE BRICK MOON DUST
	FEATURE COLOR SHALE GREY
	WINDOWS SURFTMIST
	ENTRY DOOR BEACHWOOD OAK
	GARAGE DOOR SURFTMIST
	PATIO TILES PORCELAIN GREY



CONCETTO DESIGN  
+ ASSOCIATES

CONCETTO DESIGN & ASSOCIATES  
PO BOX 184  
ROSELANDS NSW 2196  
1300 18 32 62 | 0410 625 937  
www.concettodesign.com.au

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ACCREDITED  
BUILDING DESIGNER No. 6334

date:	issue:	comments:	drawn:
07.04.22	A	Issued for development application assessment	JZ
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project details

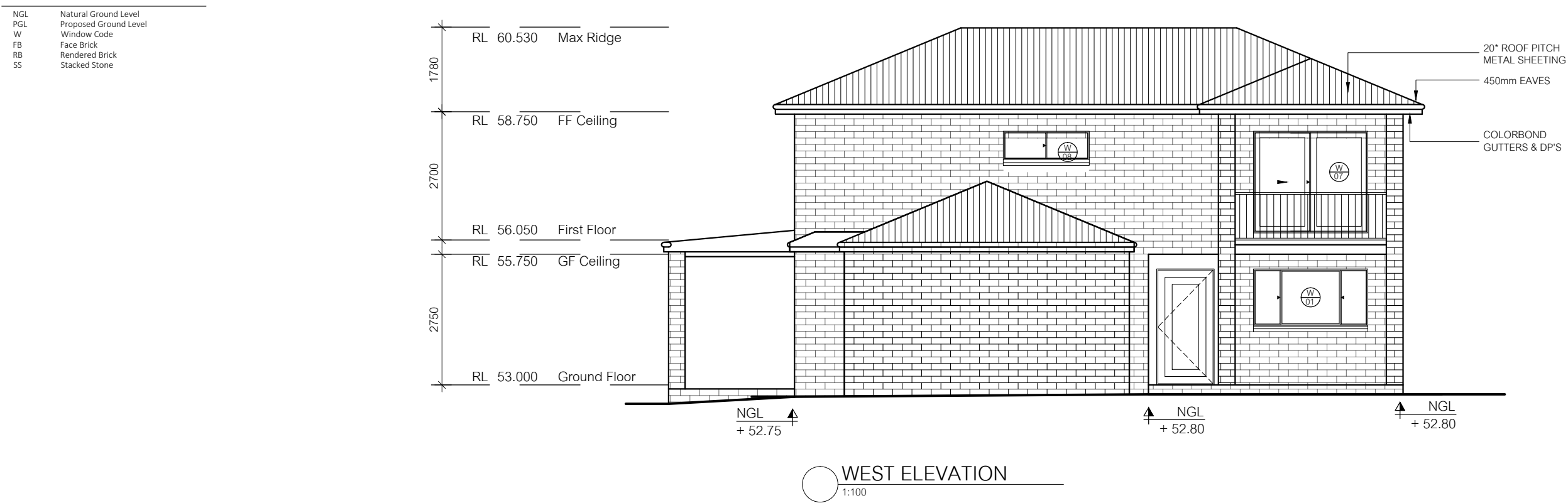
## DEVELOPMENT APPLICATION

TWO STOREY DUAL OCCUPANCY  
+ REAR SECONDARY DWELLINGS

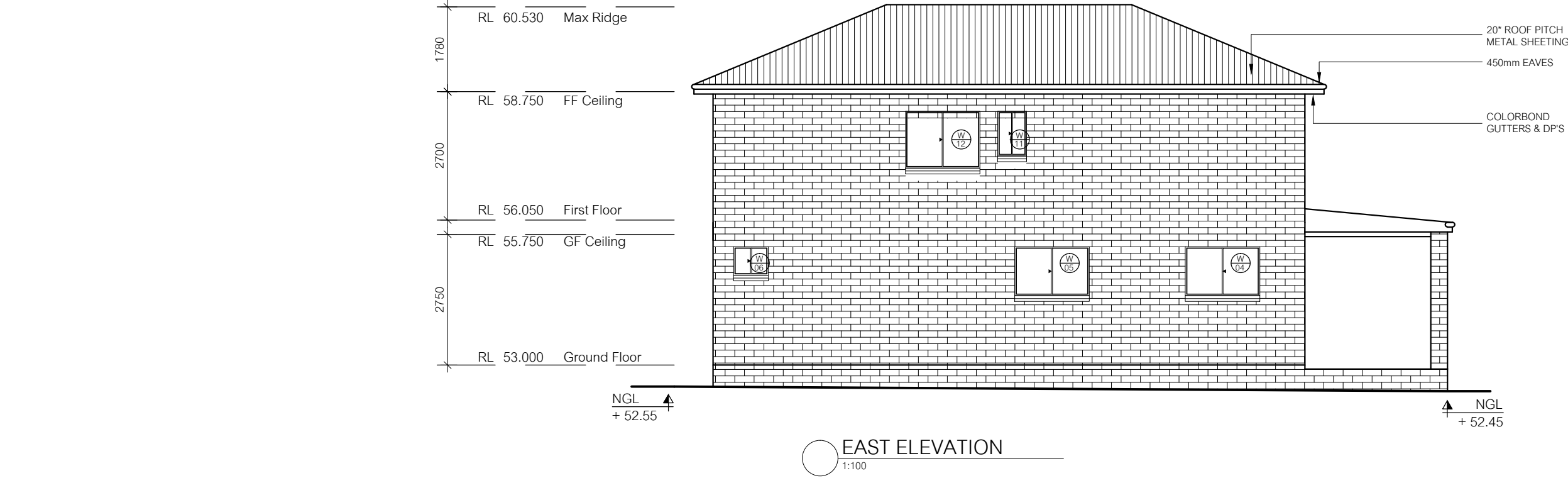
project address	221 WILLIAM STREET YAGOONA NSW
client	JL BUILDING SERVICES

drawing	BATTLE AXE DWELLING FRONT & REAR ELEVATIONS			
project no.	scale A3	drawing no.	issue	
21598	1:100	015	A	

LEGEND	
NGL	Natural Ground Level
PGL	Proposed Ground Level
W	Window Code
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FINISHES SCHEME	
	METAL ROOF BASALT
	FASCIA & GUTTERING SURFMIST
	FACE BRICK MOON DUST
	FEATURE COLOR SHALE GREY
	WINDOWS SURFMIST
	ENTRY DOOR BEACHWOOD OAK
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DEVELOPMENT APPLICATION

TWO STOREY DUAL OCCUPANCY  
+ REAR SECONDARY DWELLINGS

project address  
221 WILLIAM STREET  
YAGOONA NSW

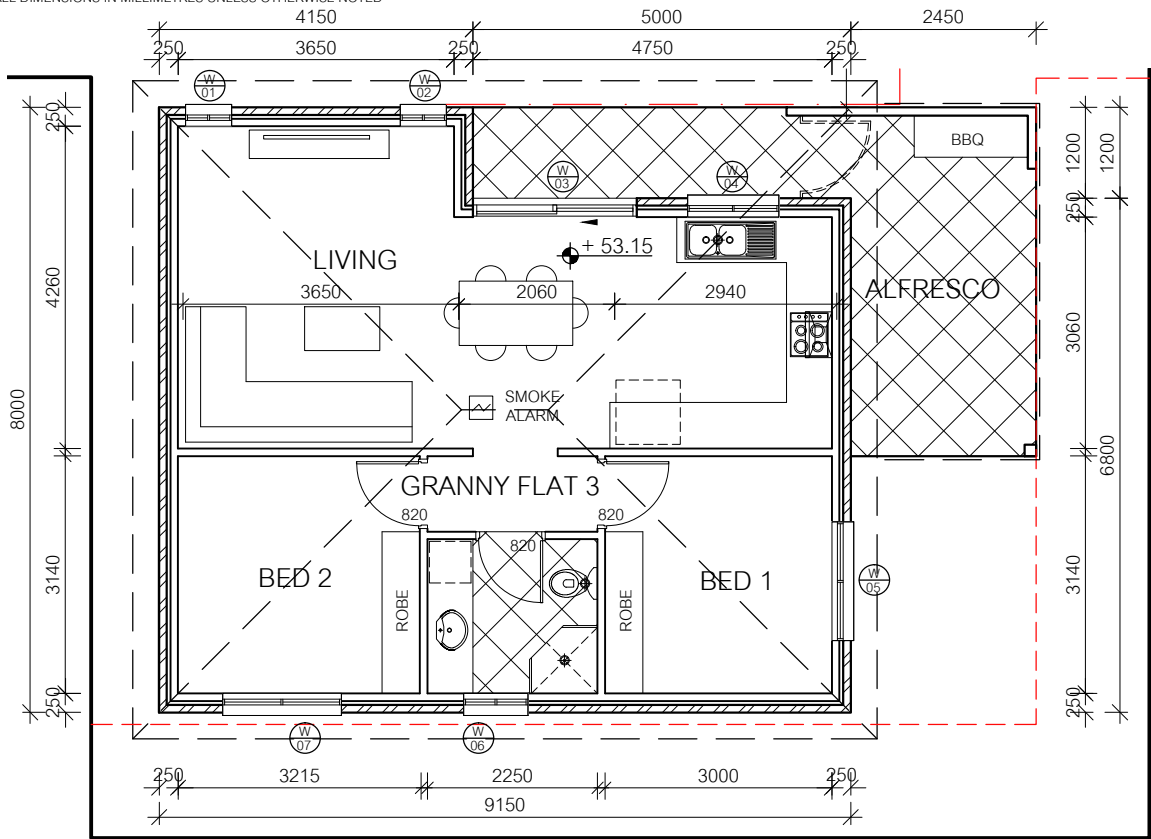
client  
JL BUILDING SERVICES

drawing				BATTLE AXE DWELLING SIDE ELEVATIONS			
project no.	scale A3	drawing no.	issue	project no.	scale A3	drawing no.	issue
21598	1:100	016	A	21598	1:100	016	A

ALL DESIGN, CONSTRUCTION & MATERIALS TO BE IN ACCORDANCE WITH:  
THE NATIONAL CONSTRUCTION CODE (NCC); THE BUILDING CODE OF AUSTRALIA (BCA)  
BUILDING REGULATIONS & LOCAL GOVERNMENT PLANS & POLICIES  
CURRENT ISSUES OF AUSTRALIAN STANDARDS  
CURRENT MANUFACTURER'S SPECIFICATIONS & INSTALLATION DETAILS FOR MATERIALS USED

BE AWARE: SUBSTITUTION OF ANY STRUCTURAL MEMBERS & OR VARIATIONS TO ANY PART OF THE DESIGN WILL VOID ANY RESPONSIBILITIES OF THE BUILDING DESIGNER FOR THE STRUCTURAL INTEGRITY & DESIGN PERFORMANCE OF THE BUILDING

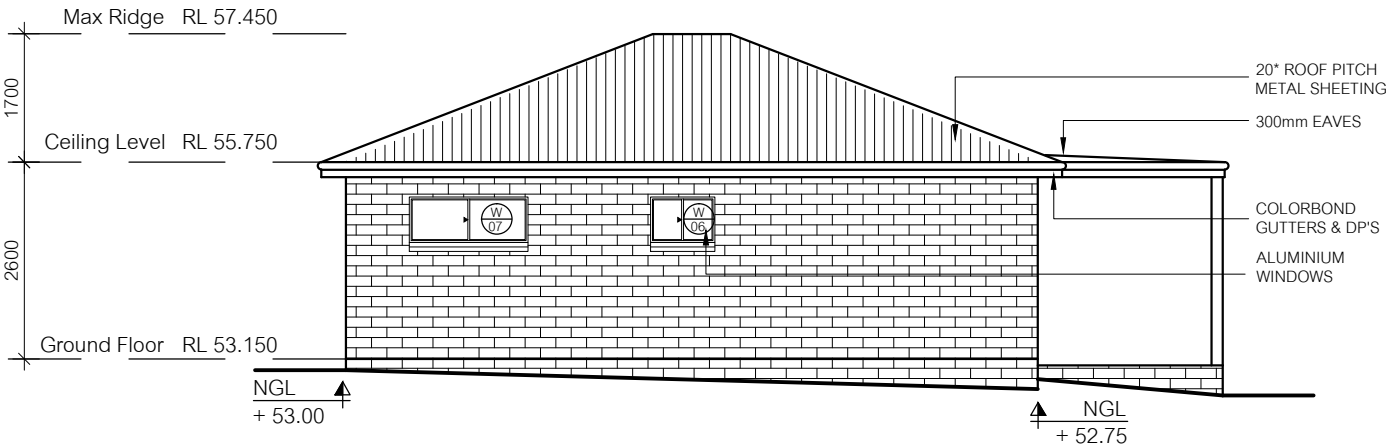
NOTE: ALL DIMENSIONS IN MILLIMETRES UNLESS OTHERWISE NOTED



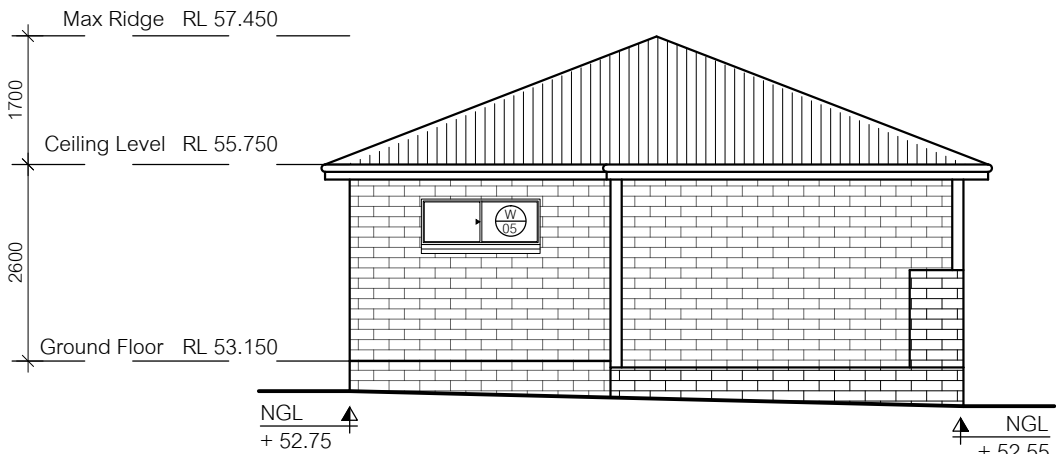
ADDITIONAL WINDOWS (GRANNY FLAT 3)						
WINDOW SCHEDULE (BRICK OPENINGS)						
Window Code	Orientation	Height	Width	Area (m2)	Type	QTY
W01	N	1540	610	0.94	REFER TO BASIX	x1
W02	N	1540	610	0.94	REFER TO BASIX	x1
W03	N	2140	2170	4.64	REFER TO BASIX	x1
W04	N	600	1210	0.73	REFER TO BASIX	x1
W05	E	600	1570	0.94	REFER TO BASIX	x1
W06	S	600	850	0.51	REFER TO BASIX	x1
W07	S	600	1570	0.94	REFER TO BASIX	x1



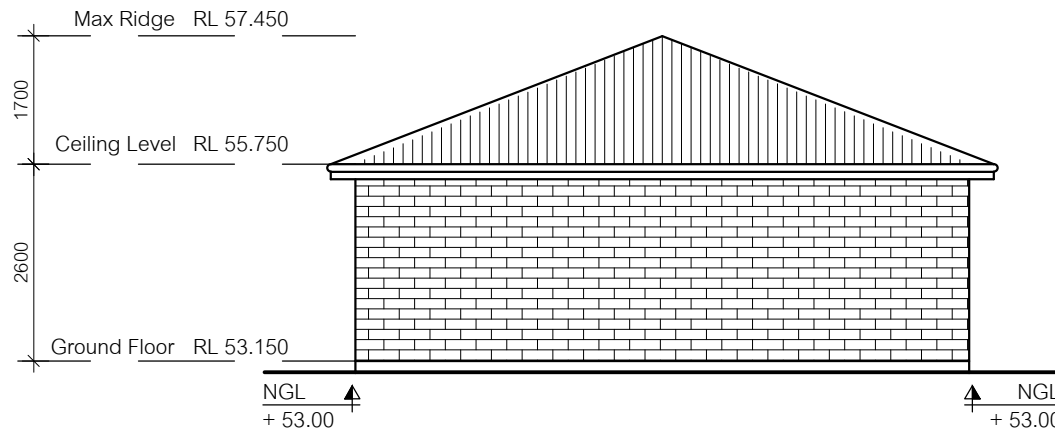
NORTH ELEVATION  
1:100



SOUTH ELEVATION  
1:100



EAST ELEVATION  
1:100



WEST ELEVATION  
1:100

## FINISHES SCHEME

- METAL ROOF BASALT
- FASCIA & GUTTERING SURFMIST
- FACE BRICK MOON DUST
- FEATURE COLOR SHALE GREY
- WINDOWS SURFTMIST
- ENTRY DOOR BEACHWOOD OAK
- GARAGE DOOR SURFTMIST
- PATIO TILES PORCELAIN GREY



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project details

## DEVELOPMENT APPLICATION

TWO STOREY DUAL OCCUPANCY  
+ REAR SECONDARY DWELLINGS

project address

221 WILLIAM STREET  
YAGOONA NSW

client

JL BUILDING SERVICES

drawing

project no.

scale A3

GRANNY FLAT 3  
PLANS & ELEVATIONS

drawing no.

issue

21598

1:100

017

A

date:	issue:	comments:	drawn:
07.04.22	A	Issued for development application assessment	JZ
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project details

DEVELOPMENT APPLICATION

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+ REAR SECONDARY DWELLINGS

project address	221 WILLIAM STREET YAGOONA NSW
client	JL BUILDING SERVICES

drawing	GRANNY FLAT 3 ROOF PLAN
project no.	21598
scale A3	1:100
drawing no.	018
issue	A



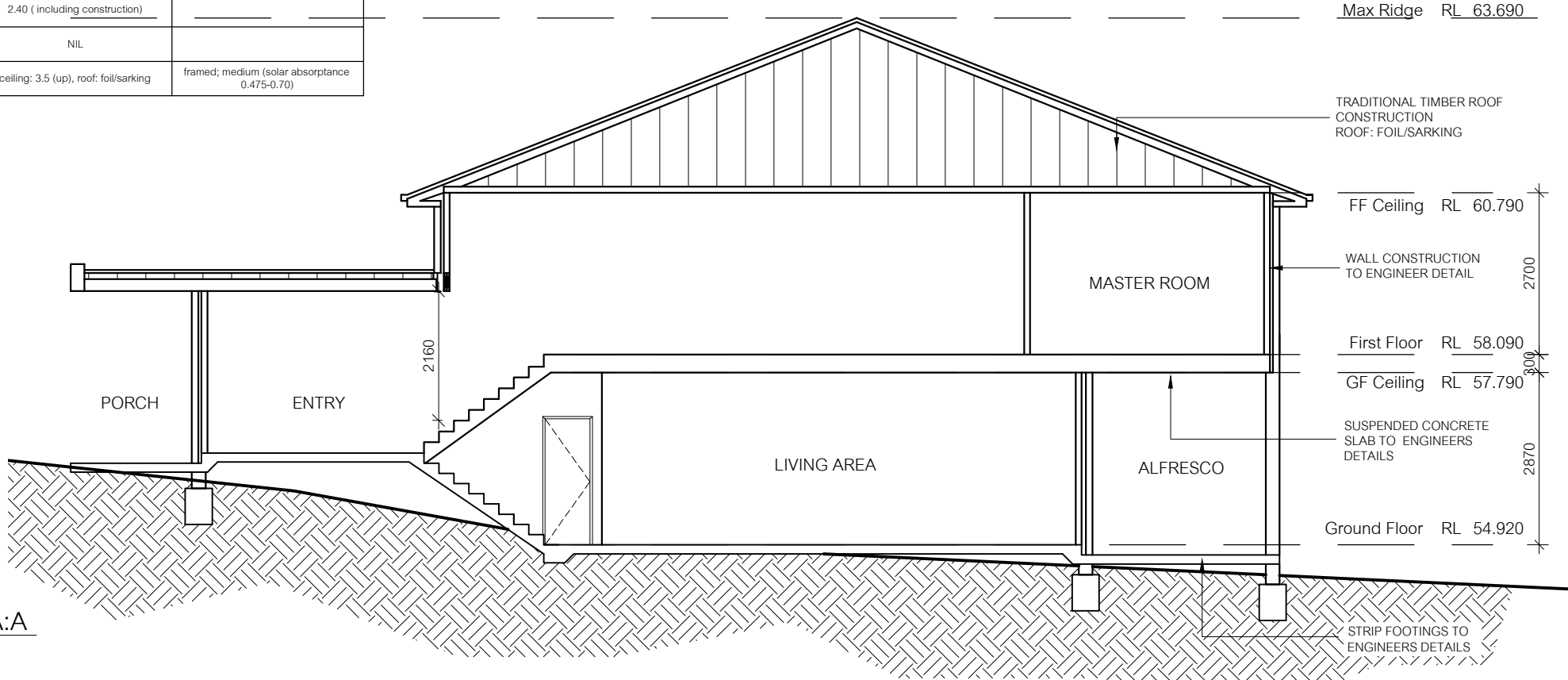
Thermal Comfort Commitments (DWELLINGS 1 & 2)		
Floor, walls and ceiling/roof		
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.		
Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground	NIL	
floor - above habitable rooms or mezzanine, other/undecided	NIL	
floor - suspended floor above garage, other/undecided	NIL	
external wall - other/undecided	2.40 ( including construction)	
internal wall shared with garage - other/undecided	NIL	
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil/sarking	framed; medium (solar absorptance 0.475-0.70)

NOTES:

WINDOW AND DOOR OPENINGS TO BE CHECKED ONSITE PRIOR TO ORDERING DUE TO STRUCTURAL AND BUILDING DEVIATIONS.

WINDOW SIZES ARE NOMINAL AND FOR SOLE PURPOSE OF DEVELOPMENT ASSESSMENT. CONTRACTOR TO LIAISE WITH WINDOW MANUFACTURER FOR SPECIFIC SIZES TO SUIT OPENINGS.

- ALL DIMENSIONS TO BE MEASURED ON SITE PRIOR TO MANUFACTURING.
- ALL GLAZING & FRAME ARE TO BE IN ACCORDANCE WITH BASIX / NATHERS / ABSA CERTIFICATES.
- ALL DOORS/ WINDOWS VIEWED FROM OUTSIDE UNLESS OTHERWISE STATED.
- GROUND FLOOR INTERNAL DOORS ARE 2.4M IN HEIGHT UNLESS SPECIFIED.
- FIRST FLOOR INTERNAL DOORS ARE 2.1M IN HEIGHT UNLESS SPECIFIED.
- PROVIDE SHOP-DRAWINGS FOR BUILDING DESIGNERS APPROVAL BEFORE COMMENCING ANY WORK.



SECTION A:A  
1:100



SECTION B:B  
1:100



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project details

DEVELOPMENT APPLICATION

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+ REAR SECONDARY DWELLINGS

project address

221 WILLIAM STREET  
YAGOONA NSW

client

JL BUILDING SERVICES

drawing

project no.

scale A3

21598

1:100

WINDOW SCHEDULE  
SECTIONS A & B

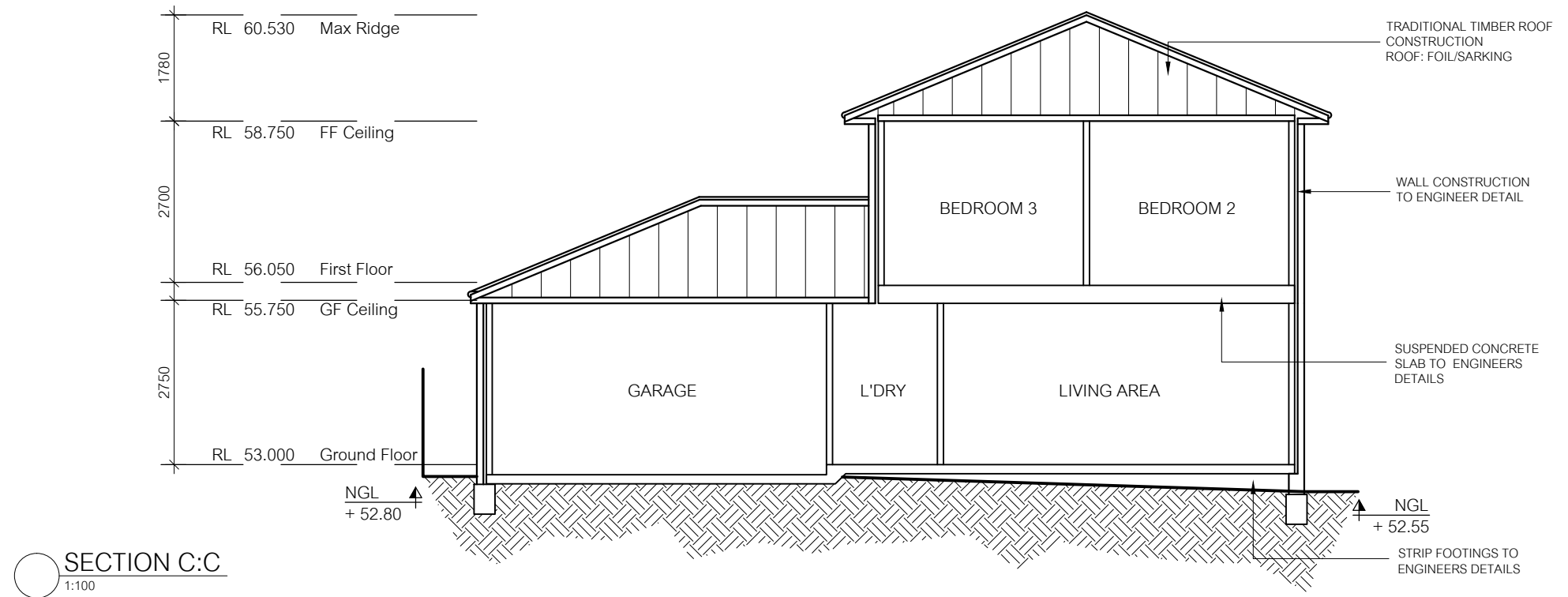
drawing no.

019

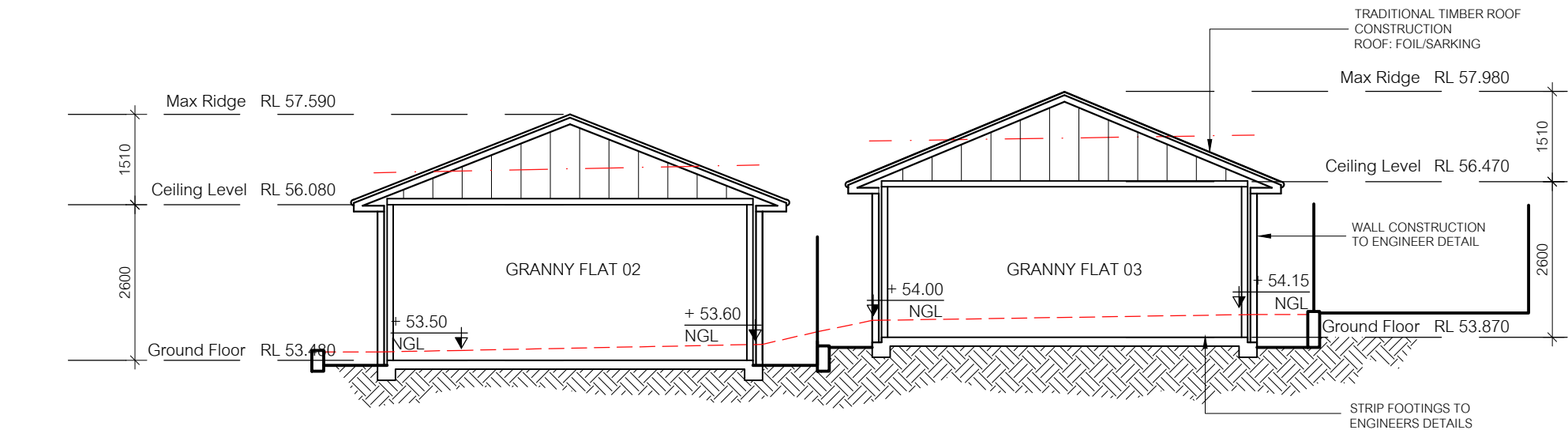
issue

A

DWELLING 1						
WINDOW SCHEDULE (BRICK OPENINGS)						
Window Code	Orientation	Height	Width	Area (m2)	Type	QTY
GROUND FLOOR						
W01	W	2100	1450	3.05	'REFER TO BASIX/ABSA REPORT'	x1
W02	S	600	850	0.51	'REFER TO BASIX/ABSA REPORT'	x1
W03	S	2150	850	1.83	'REFER TO BASIX/ABSA REPORT'	x1
W04	S	2150	850	1.83	'REFER TO BASIX/ABSA REPORT'	x1
W05	E	2700	2410	6.51	'REFER TO BASIX/ABSA REPORT'	x1
W06	S	2700	2410	6.51	'REFER TO BASIX/ABSA REPORT'	x1
W07	E	2700	1810	4.89	'REFER TO BASIX/ABSA REPORT'	x1
FIRST FLOOR						
W08	W	600	2410	1.45	'REFER TO BASIX/ABSA REPORT'	x1
W09	W	770	2410	1.86	'REFER TO BASIX/ABSA REPORT'	x1
W10	S	600	1810	1.09	'REFER TO BASIX/ABSA REPORT'	x1
W11	S	600	1810	1.09	'REFER TO BASIX/ABSA REPORT'	x1
W12	E	1030	2650	2.73	'REFER TO BASIX/ABSA REPORT'	x1
W13	E	600	730	0.44	'REFER TO BASIX/ABSA REPORT'	x1
DOOR SCHEDULE (BRICK OPENINGS)						
D1	W	2400	1210		ENTRY DOOR	x1
GD	W	2400	3090		GARAGE DOOR	x1
DWELLING 2						
WINDOW SCHEDULE (BRICK OPENINGS)						
Window Code	Orientation	Height	Width	Area (m2)	Type	QTY
GROUND FLOOR						
W01	W	2100	1450	3.05	'REFER TO BASIX/ABSA REPORT'	x1
W02	N	600	850	0.51	'REFER TO BASIX/ABSA REPORT'	x1
W03	N	2150	850	1.83	'REFER TO BASIX/ABSA REPORT'	x1
W04	N	2150	850	1.83	'REFER TO BASIX/ABSA REPORT'	x1
W05	E	2700	2410	6.51	'REFER TO BASIX/ABSA REPORT'	x1
W06	N	2700	2410	6.51	'REFER TO BASIX/ABSA REPORT'	x1
W07	E	2700	1810	4.89	'REFER TO BASIX/ABSA REPORT'	x1
FIRST FLOOR						
W08	W	600	2410	1.45	'REFER TO BASIX/ABSA REPORT'	x1
W09	W	770	2410	1.86	'REFER TO BASIX/ABSA REPORT'	x1
W10	N	600	1810	1.09	'REFER TO BASIX/ABSA REPORT'	x1
W11	N	600	1810	1.09	'REFER TO BASIX/ABSA REPORT'	x1
W12	E	1030	2650	2.73	'REFER TO BASIX/ABSA REPORT'	x1
W13	E	600	730	0.44	'REFER TO BASIX/ABSA REPORT'	x1
DOOR SCHEDULE (BRICK OPENINGS)						
D1	W	2400	1210		ENTRY DOOR	x1
GD	W	2400	3090		GARAGE DOOR	x1
DWELLING 3						
WINDOW SCHEDULE (BRICK OPENINGS)						
Window Code	Orientation	Height	Width	Area (m2)	Type	QTY
GROUND FLOOR						
W01	W	1200	2410	2.89	'REFER TO BASIX/ABSA REPORT'	x1
W02	S	1030	730	0.75	'REFER TO BASIX/ABSA REPORT'	x1
W03	N	2400	3610	8.66	'REFER TO BASIX/ABSA REPORT'	x1
W04	E	1030	1570	1.62	'REFER TO BASIX/ABSA REPORT'	x1
W05	E	1030	1570	1.62	'REFER TO BASIX/ABSA REPORT'	x1
W06	E	600	730	0.44	'REFER TO BASIX/ABSA REPORT'	x1
FIRST FLOOR						
W07	W	2140	2410	5.16	'REFER TO BASIX/ABSA REPORT'	x1
W08	W	600	1810	1.09	'REFER TO BASIX/ABSA REPORT'	x1
W09	N	1200	1810	2.17	'REFER TO BASIX/ABSA REPORT'	x1
W10	N	1200	1810	2.17	'REFER TO BASIX/ABSA REPORT'	x1
W11	E	940	610	0.57	'REFER TO BASIX/ABSA REPORT'	x1
W12	E	1200	1570	1.88	'REFER TO BASIX/ABSA REPORT'	x1
W13	S	600	730	0.44	'REFER TO BASIX/ABSA REPORT'	x1
DOOR SCHEDULE (BRICK OPENINGS)						
D1	W	2400	1210		ENTRY DOOR	x1
GD	S	2400	4810		GARAGE DOOR	x1

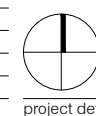


SECTION C:C  
1:100



SECTION D:D  
1:100

date:	issue:	comments:	drawn:
07.04.22	A	Issued for development application assessment	JZ
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**DEVELOPMENT APPLICATION**

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+ REAR SECONDARY DWELLINGS

project address  
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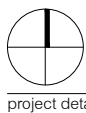
client  
JL BUILDING SERVICES

drawing

project no. 21598  
scale A3 1:100  
drawing no. 019  
issue A

SECTIONS C & D

date:	issue:	comments:	drawn:
07.04.22	A	Issued for development application assessment	JZ
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project address

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YAGOONA NSW

client

JL BUILDING SERVICES

drawing

SUBDIVISION PLAN

project no.

scale A3

drawing no.

issue

21598

1:250

021

A

